

CHAPTER 34

# CHARLOTTESVILLE ZONING CODE

MODULE 1 DRAFT

February 3, 2023

NOTE: Modifications to the draft text are ongoing based on legal review.

ARTICLE 34-2.

# ZONING DISTRICTS

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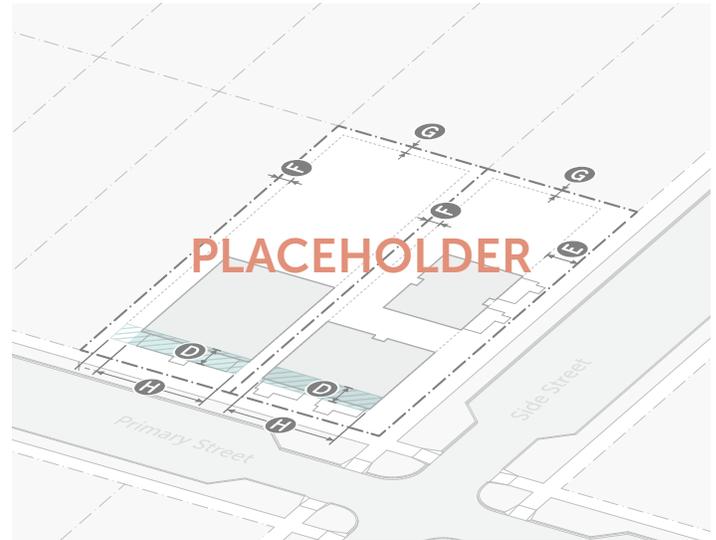
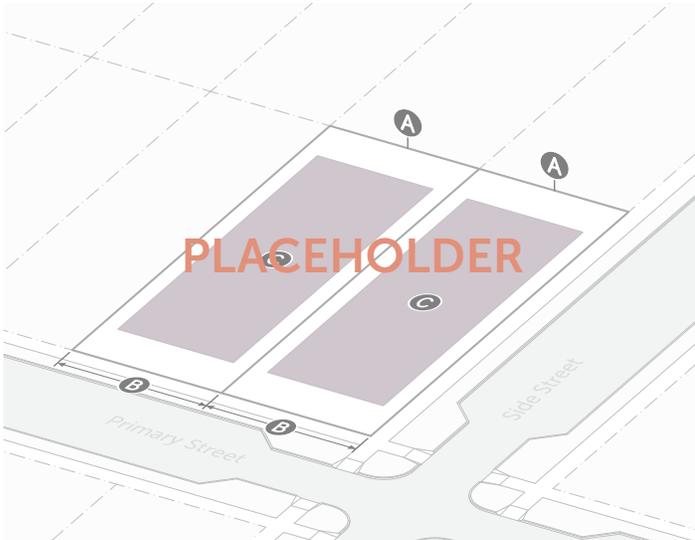
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## DIV. 2.2. **RESIDENTIAL**

## 2.2.1. R-A RESIDENTIAL A

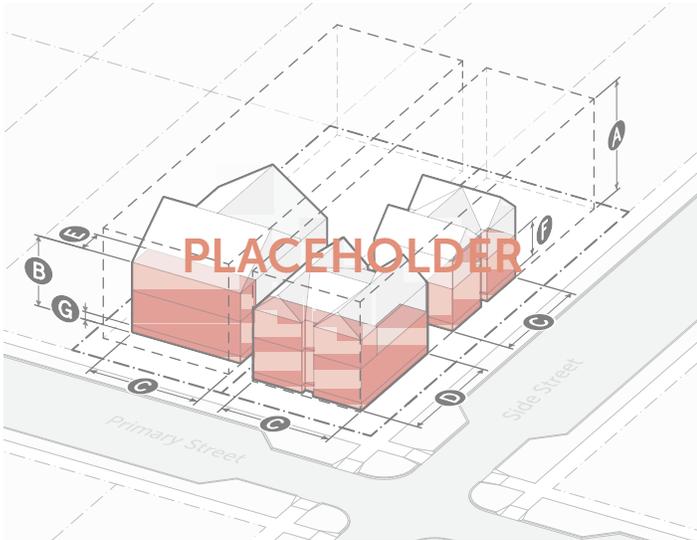
### A. ZONING LOT



<b>1. SIZE FOR SUBDIVISION</b>	Sec. X.XX.X
<b>A</b> Area (min)	6,000 SF
<b>B</b> Width (min)	
Front access	40'
Side/rear access	25'
<b>2. DENSITY</b>	Sec. X.XX.X
Dwellings per zoning lot (max)	
Base	3
Bonus - Existing Structure	4
Bonus - Affordable	8
<b>3. COVERAGE</b>	Sec. X.XX.X
<b>C</b> Building coverage (max)	
Up to 2 units	55%
2 to 4 units	60%
Above 4 units	65%
Outdoor amenity space (min)	None

<b>4. BUILDING SETBACKS</b>	Sec. X.XX.X
<b>D</b> Primary street lot line (min/max)	10' / 20' or Existing Range
<b>E</b> Side street lot line (min/max)	10'
<b>F</b> Side lot line (min)	4'
<b>G</b> Rear / alley lot line (min)	4'
<b>5. BUILD-TO</b>	Sec. X.XX.X
Build-to width (min)	
<b>H</b> Primary street	50%
Side street	None
<b>6. PARKING LOCATION</b>	Sec. X.XX.X
Front yard	Not allowed
Side street yard	Allowed
Side yard	Allowed
Rear yard	Allowed

B. BUILDING

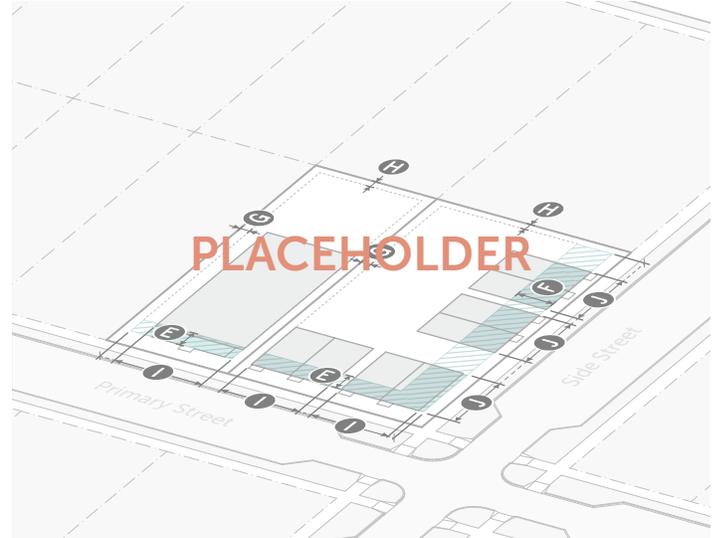
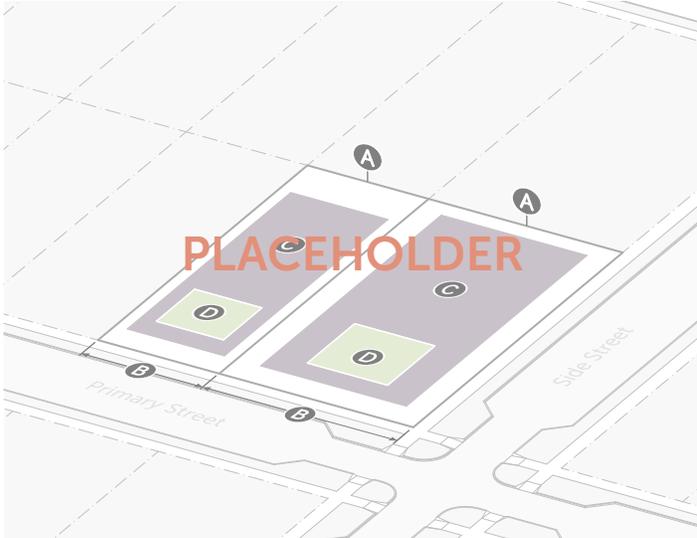


1. HEIGHT		Sec. X.XX.X
A	Overall height (max stories/feet)	2.5 / 32'
B	Side wall (max)	25'
2. MASSING		Sec. X.XX.X
Width (max)		
C	Primary street	35'
D	Side street	70'
E	Active depth (min)	9'
3. GROUND STORY		Sec. X.XX.X
F	Story height (min)	9'
G	Finished floor elevation (min/max)	2' / 5'

	Primary St.	Side St.
4. TRANSPARENCY		Sec. X.XX.X
H	Ground story (min)	35%   30%
I	Upper story (min)	15%   15%
J	Blank wall width (max)	10'   20'
5. ENTRANCES		Sec. X.XX.X
K	Street-facing entry spacing (max)	30'   50'
	Entry feature	Yes   Yes
6. WALLS & FENCES		Sec. X.XX.X
	Front yard height (max)	Type X   4'
	Side street yard height (max)	
	Within 3' of zoning lot line	Type X   4'
	More than 3' from zoning lot line	Type X   6'

## 2.2.2. R-B RESIDENTIAL B

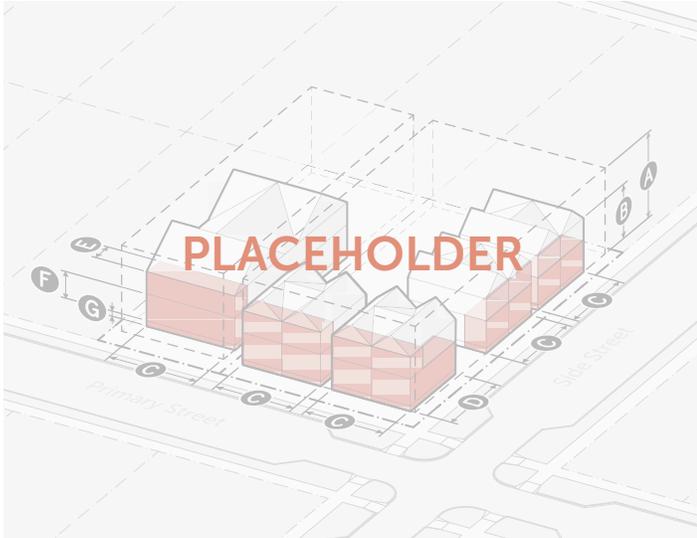
### A. ZONING LOT



<b>1. SIZE FOR SUBDIVISION</b>	Sec. X.XX.X
<b>A</b> Area (min)	2,500 SF
<b>B</b> Width (min)	
Front access	40'
Side/rear access	25'
<b>2. DENSITY</b>	Sec. X.XX.X
Dwellings per zoning lot (max)	
Base	6
Bonus - Affordable	12
<b>3. COVERAGE</b>	Sec. X.XX.X
<b>C</b> Building coverage (max)	
Up to 4 units	60%
5 to 8 units	65%
Above 8 units	70%
<b>D</b> Outdoor amenity space (min)	10%

<b>4. BUILDING SETBACKS</b>	Sec. X.XX.X
<b>E</b> Primary street lot line (min/max)	10' / 20'
<b>F</b> Side street lot line (min/max)	5' / 20'
<b>G</b> Side lot line (min)	4'
<b>H</b> Rear / alley lot line (min)	4'
<b>5. BUILD-TO</b>	Sec. X.XX.X
Build-to width (min)	
<b>I</b> Primary street	65%
<b>J</b> Side street	40%
<b>6. PARKING LOCATION</b>	Sec. X.XX.X
Front yard	Not allowed
Side street yard	Not allowed
Side yard	Allowed
Rear yard	Allowed

B. BUILDING

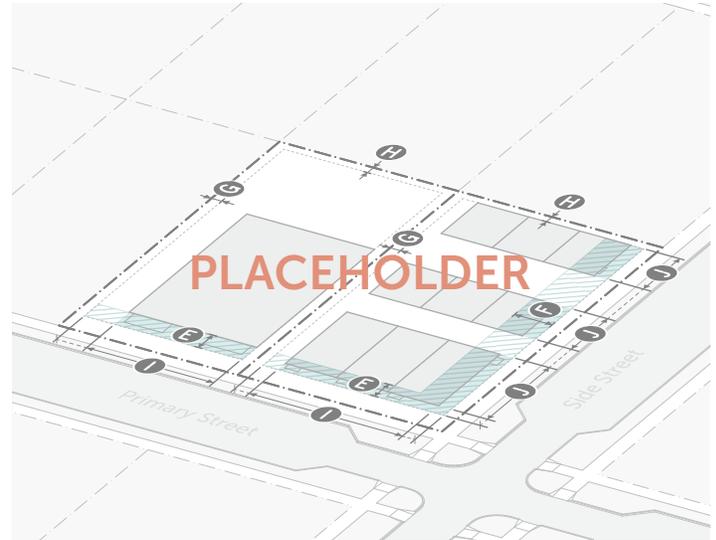


<b>1. HEIGHT</b>	Sec. X.XX.X	
<b>A</b> Overall height (max stories/feet)		
Base	2.5 / 32'	
Bonus	3 / 44'	
<b>B</b> Side wall (max)		
Base	25'	
Bonus	None	
<b>2. MASSING</b>	Sec. X.XX.X	
Width (max)		
<b>C</b> Primary street	40'	
<b>D</b> Side street	90'	
<b>E</b> Active depth (min)	9'	
<b>3. GROUND STORY</b>	Sec. X.XX.X	
<b>F</b> Story height (min)	9'	
<b>G</b> Finished floor elevation (min/max)	2' / 5'	

	Primary St.	Side St.
<b>4. TRANSPARENCY</b>	Sec. X.XX.X	
<b>H</b> Ground story (min)	35%	30%
<b>I</b> Upper story (min)	15%	15%
<b>J</b> Blank wall width (max)	10'	20'
<b>5. ENTRANCES</b>	Sec. X.XX.X	
<b>K</b> Street-facing entry spacing (max)	30'	50'
Entry feature	Yes	Yes
<b>6. WALLS &amp; FENCES</b>	Sec. X.XX.X	
Front yard height (max)	Type X   4'	
Side street yard height (max)		
Within 3' of zoning lot line	Type X   4'	
More than 3' from zoning lot line	Type X   6'	

2.2.3. R-C RESIDENTIAL C

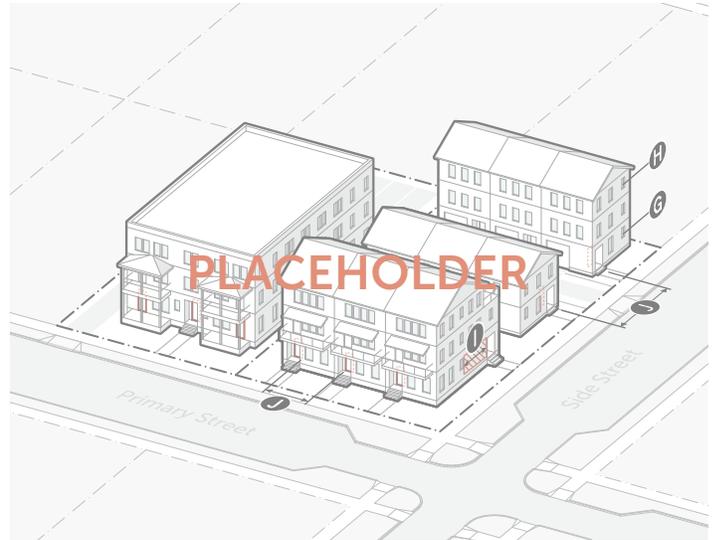
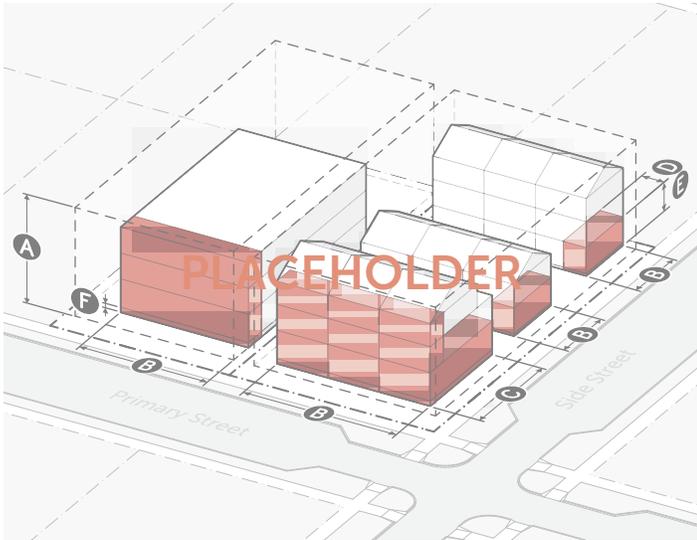
A. ZONING LOT



<b>1. SIZE FOR SUBDIVISION</b>	Sec. X.XX.X
<b>A</b> Area (min)	2,500 SF
<b>B</b> Width (min)	
Front access	40'
Side/rear access	25'
<b>2. DENSITY</b>	Sec. X.XX.X
Dwellings per zoning lot (max)	
Base	8
Bonus - Affordable Units	16
<b>3. COVERAGE</b>	Sec. X.XX.X
<b>C</b> Building coverage (max)	
Up to 8 units	65%
9 to 12 units	70%
Above 12 units	75%
<b>D</b> Outdoor amenity space	10%

<b>4. BUILDING SETBACKS</b>	Sec. X.XX.X
<b>E</b> Primary street lot line (min/max)	5' / 20'
<b>F</b> Side street lot line (min/max)	5' / 20'
<b>G</b> Side lot line (min)	4'
<b>H</b> Rear / alley lot line (min)	4'
<b>5. BUILD-TO</b>	Sec. X.XX.X
Build-to width (min)	
<b>I</b> Primary street	65%
<b>J</b> Side street	40%
<b>6. PARKING LOCATION</b>	Sec. X.XX.X
Front yard	Not allowed
Side street yard	Not allowed
Side yard	Allowed
Rear yard	Allowed

B. BUILDING



<b>1. HEIGHT</b>	Sec. X.XX.X
<b>A</b> Overall height (max stories/feet)	
Base	3 / 44'
Bonus	4 / 58'
<b>2. MASSING</b>	Sec. X.XX.X
Width (max)	
<b>B</b> Primary street	70'
<b>C</b> Side street	100'
<b>D</b> Active depth (min)	9'
<b>3. GROUND STORY</b>	Sec. X.XX.X
<b>E</b> Story height (min)	9'
<b>F</b> Finished floor elevation (min/max)	2' / 5'

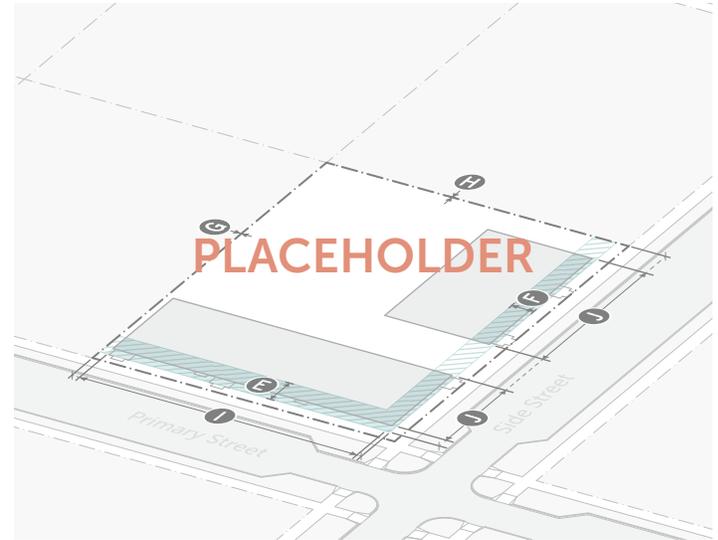
	Primary St.	Side St.
<b>4. TRANSPARENCY</b>	Sec. X.XX.X	
<b>G</b> Ground story (min)	35%	30%
<b>H</b> Upper story (min)	15%	15%
<b>I</b> Blank wall width (max)	10'	20'
<b>5. ENTRANCES</b>	Sec. X.XX.X	
<b>J</b> Street-facing entry spacing (max)	30'	50'
Entry feature	Yes	Yes
<b>6. WALLS &amp; FENCES</b>	Sec. X.XX.X	
Front yard height (max)	Type X   4'	
Side street yard height (max)		
Within 3' of zoning lot line	Type X   4'	
More than 3' from zoning lot line	Type X   6'	

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## DIV. 2.3. RESIDENTIAL MIXED USE

2.3.1. **RX-3** RESIDENTIAL MIXED USE 3

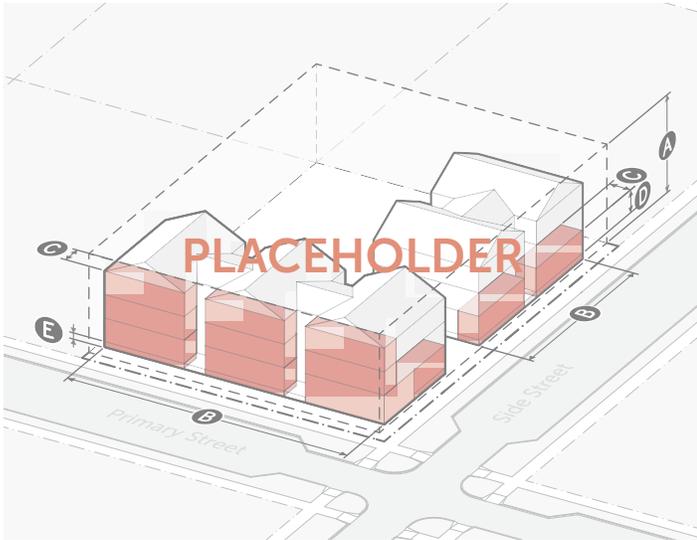
A. ZONING LOT



<b>1. SIZE FOR SUBDIVISION</b>	Sec. X.XX.X
<b>A</b> Area (min)	None
<b>B</b> Width (min)	
Front access	40'
Side/rear access	15'
<b>2. DENSITY</b>	Sec. X.XX.X
Dwellings per zoning lot (max)	Unlimited
<b>3. COVERAGE</b>	Sec. X.XX.X
<b>C</b> Building coverage (max)	80%
<b>D</b> Outdoor amenity space (min)	10%

<b>4. BUILDING SETBACKS</b>	Sec. X.XX.X
<b>E</b> Primary street lot line (min/max)	5' / 15'
<b>F</b> Side street lot line (min/max)	5' / 15'
<b>G</b> Side lot line (min)	0'
<b>H</b> Rear lot line (min)	0'
Alley lot line (min)	5'
<b>5. BUILD-TO</b>	Sec. X.XX.X
Build-to width (min)	
<b>I</b> Primary street	75%
<b>J</b> Side street	45%
<b>6. TRANSITION</b>	Sec. X.XX.X
Transition type	Type X
<b>7. PARKING LOCATION</b>	Sec. X.XX.X
Front yard	Not allowed
Side street yard	Not allowed
Side yard	Allowed
Rear yard	Allowed

B. BUILDING

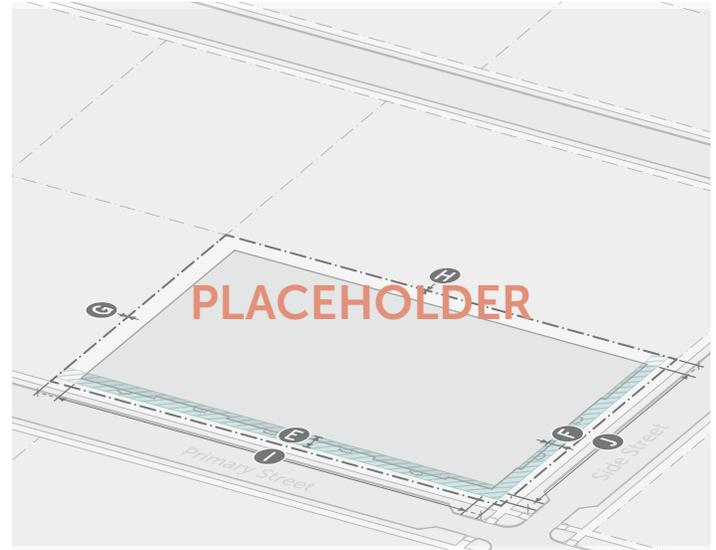
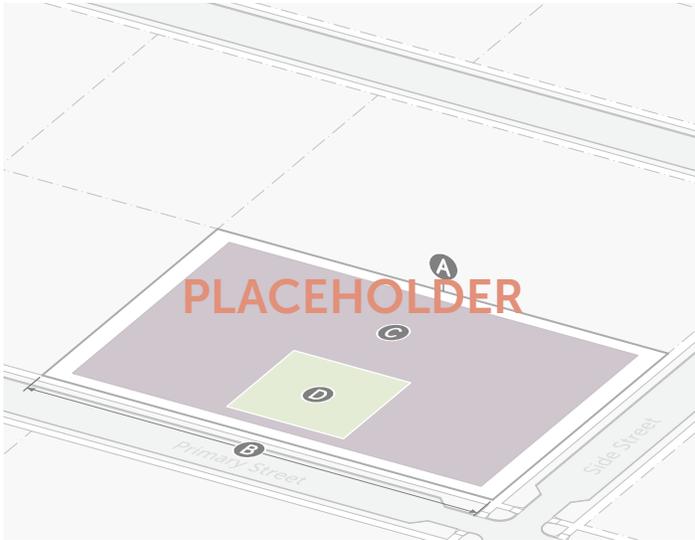


1. HEIGHT		Sec. X.XX.X
<b>A</b>	Overall height (max stories/feet)	
	Base	3 / 44'
	Bonus	5 / 72'
2. MASSING		Sec. X.XX.X
<b>B</b>	Width (max)	175'
<b>C</b>	Active depth (min)	9'
3. GROUND STORY		Sec. X.XX.X
<b>D</b>	Story height (min)	10'
<b>E</b>	Finished floor elevation (min/max)	2' / 5'

	Primary St.	Side St.
4. TRANSPARENCY		
<b>F</b>	Ground story (min)	35%   30%
<b>G</b>	Upper story (min)	20%   20%
<b>H</b>	Blank wall width (max)	15'   25'
5. ENTRANCES		
<b>I</b>	Street-facing entry spacing (max)	40'   60'
	Entry feature	Yes   Yes
6. WALLS & FENCES		
	Front yard height (max)	Type X   4'
	Side street yard height (max)	Type X   6'

## 2.3.2. RX-5 RESIDENTIAL MIXED USE 5

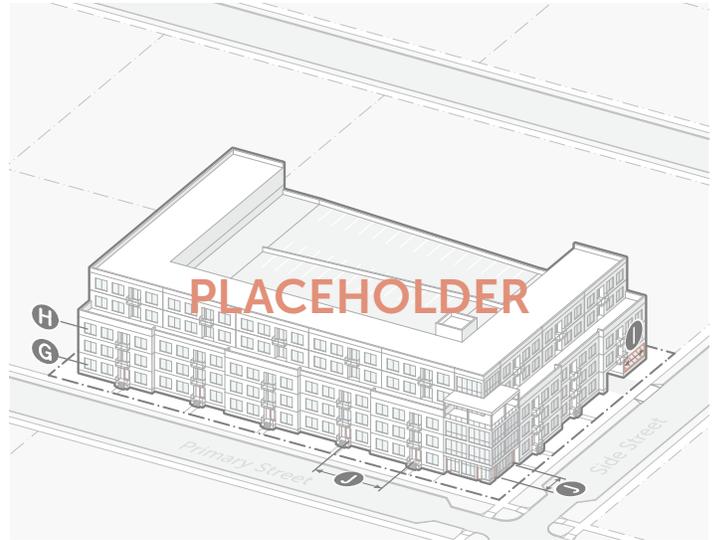
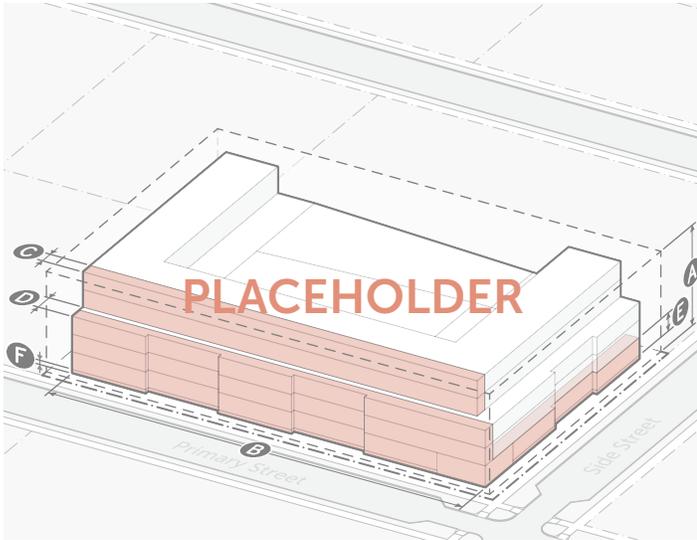
### A. ZONING LOT



<b>1. SIZE FOR SUBDIVISION</b>	Sec. X.XX.X
<b>A</b> Area (min)	None
<b>B</b> Width (min)	
Front access	40'
Side/rear access	15'
<b>2. DENSITY</b>	Sec. X.XX.X
Dwellings per zoning lot (max)	Unlimited
<b>3. COVERAGE</b>	Sec. X.XX.X
Building coverage (max)	None
<b>C</b> Outdoor amenity space (min)	10%

<b>4. BUILDING SETBACKS</b>	Sec. X.XX.X
<b>D</b> Primary street lot line (min/max)	5' / 15'
<b>E</b> Side street lot line (min/max)	5' / 15'
<b>F</b> Side lot line (min)	0'
<b>G</b> Rear lot line (min)	0'
Alley lot line (min)	5'
<b>5. BUILD-TO</b>	Sec. X.XX.X
Build-to width (min)	
<b>H</b> Primary street	75%
<b>I</b> Side street	45%
<b>6. TRANSITION</b>	Sec. X.XX.X
Transition type	Type X
<b>7. PARKING LOCATION</b>	Sec. X.XX.X
Front yard	Not allowed
Side street yard	Not allowed
Side yard	Allowed
Rear yard	Allowed

B. BUILDING



1. HEIGHT		Sec. X.XX.X
<b>A</b>	Overall height (max stories/feet)	
	Base	5 / 72'
	Bonus	7 / 100'
2. MASSING		Sec. X.XX.X
<b>B</b>	Width (max)	275'
<b>C</b>	Active depth (min)	9'
3. GROUND STORY		Sec. X.XX.X
<b>D</b>	Story height (min)	10'
<b>E</b>	Finished floor elevation (min/max)	2' / 5'

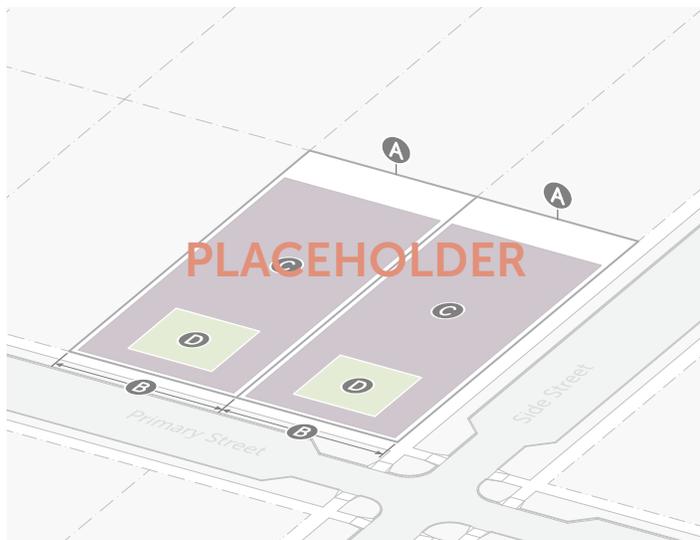
	Primary St.	Side St.
4. TRANSPARENCY		Sec. X.XX.X
<b>F</b>	Ground story (min)	35%   30%
<b>G</b>	Upper story (min)	20%   20%
<b>H</b>	Blank wall width (max)	15'   25'
5. ENTRANCES		Sec. X.XX.X
<b>I</b>	Street-facing entry spacing (max)	40'   60'
	Entry feature	Yes   Yes
6. WALLS & FENCES		Sec. X.XX.X
	Front yard height (max)	Type X   4'
	Side street yard height (max)	Type X   6'

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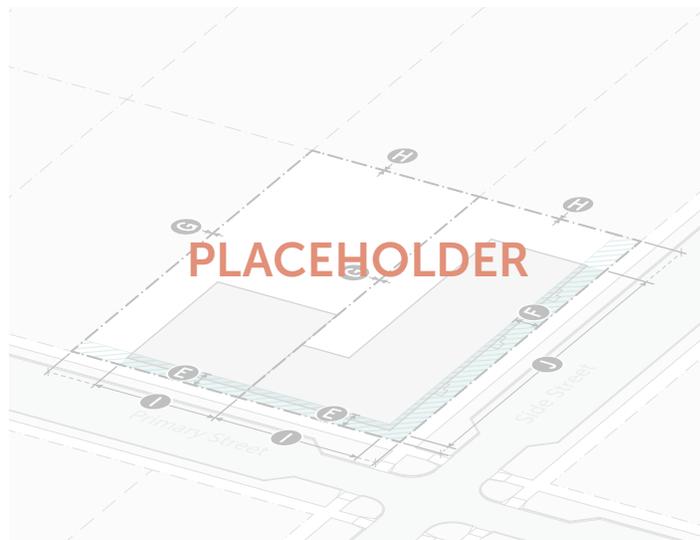
## DIV. 2.4. **CORRIDOR MIXED USE**

2.4.1. **CX-3** CORRIDOR MIXED USE 3

## A. ZONING LOT

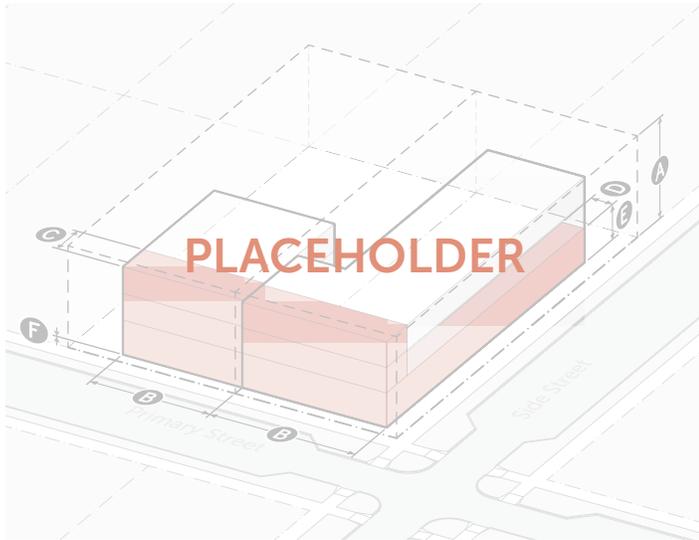


<b>1. SIZE FOR SUBDIVISION</b>	Sec. X.XX.X
<b>A</b> Area (min)	None
<b>B</b> Width (min)	
Front access	40'
Side/rear access	15'
<b>2. DENSITY</b>	Sec. X.XX.X
Dwellings per zoning lot (max)	Unlimited
<b>3. COVERAGE</b>	Sec. X.XX.X
<b>C</b> Building coverage (max)	80%
<b>D</b> Outdoor amenity space	10%



<b>4. BUILDING SETBACKS</b>	Sec. X.XX.X
<b>E</b> Primary street lot line (min/max)	0' / 10'
<b>F</b> Side street lot line (min/max)	0' / 10'
<b>G</b> Side lot line (min)	0'
<b>H</b> Rear lot line (min)	0'
Alley lot line (min)	5'
<b>5. BUILD-TO</b>	Sec. X.XX.X
Build-to width (min)	
<b>I</b> Primary street	75%
<b>J</b> Side street	45%
<b>6. TRANSITION</b>	Sec. X.XX.X
Transition type	Type X
<b>7. PARKING LOCATION</b>	Sec. X.XX.X
Front yard	Not allowed
Side street yard	Not allowed
Side yard	Allowed
Rear yard	Allowed

B. BUILDING

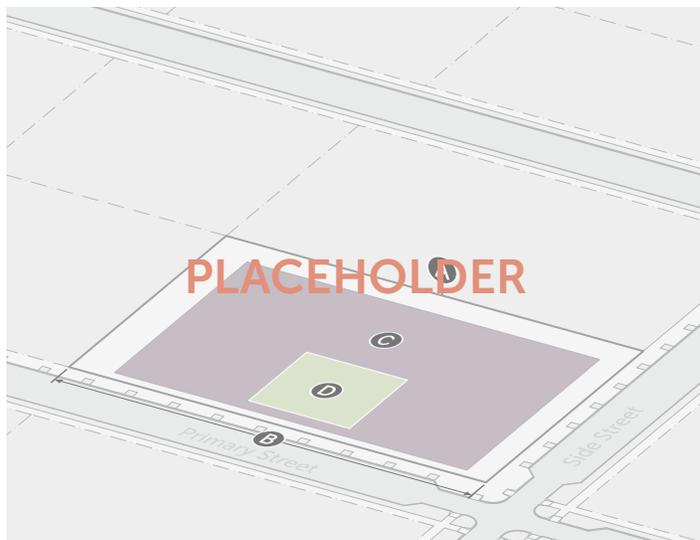


1. HEIGHT		Sec. X.XX.X
<b>A</b>	Overall height (max stories/feet)	
	Base	3 / 44'
	Bonus	5 / 72'
2. MASSING		Sec. X.XX.X
<b>B</b>	Width (max)	275'
	Active depth (min)	
<b>C</b>	Primary street	15'
<b>D</b>	Side street	9'
3. GROUND STORY		Sec. X.XX.X
<b>E</b>	Story height (min)	
	Residential	10'
	Nonresidential	14'
<b>F</b>	Finished floor elevation (min/max)	
	Residential	2' / 5'
	Nonresidential	-2' / 5'

	Primary St.	Side St.
4. TRANSPARENCY		Sec. X.XX.X
<b>G</b>	Ground story (min)	
	Residential	35% 30%
	Nonresidential	50% 30%
<b>H</b>	Upper story (min)	
	20% 20%	
<b>I</b>	Blank wall width (max)	
	15' 25'	
5. ENTRANCES		Sec. X.XX.X
<b>J</b>	Street-facing entry spacing (max)	
	40' 60'	
	Entry feature	Yes Yes
6. WALLS & FENCES		Sec. X.XX.X
	Front yard height (max)	Type X   4'
	Side street yard height (max)	Type X   6'

2.4.2. **CX-5** CORRIDOR MIXED USE 5

## A. ZONING LOT



<b>1. SIZE FOR SUBDIVISION</b>	Sec. X.XX.X
<b>A</b> Area (min)	None
<b>B</b> Width (min)	
Front access	40'
Side/rear access	15'
<b>2. DENSITY</b>	Sec. X.XX.X
Dwellings per zoning lot (max)	Unlimited
<b>3. COVERAGE</b>	Sec. X.XX.X
Building coverage (max)	None
<b>C</b> Outdoor amenity space	10%

<b>4. BUILDING SETBACKS</b>	Sec. X.XX.X
<b>D</b> Primary street lot line (min/max)	0' / 10'
<b>E</b> Side street lot line (min/max)	0' / 10'
<b>F</b> Side lot line (min)	0'
<b>G</b> Rear lot line (min)	0'
Alley lot line (min)	5'
<b>5. BUILD-TO</b>	Sec. X.XX.X
Build-to width (min)	
<b>H</b> Primary street	75%
<b>I</b> Side street	45%
<b>6. TRANSITION</b>	Sec. X.XX.X
Transition type	Type X
<b>7. PARKING LOCATION</b>	Sec. X.XX.X
Front yard	Not allowed
Side street yard	Not allowed
Side yard	Allowed
Rear yard	Allowed

B. BUILDING

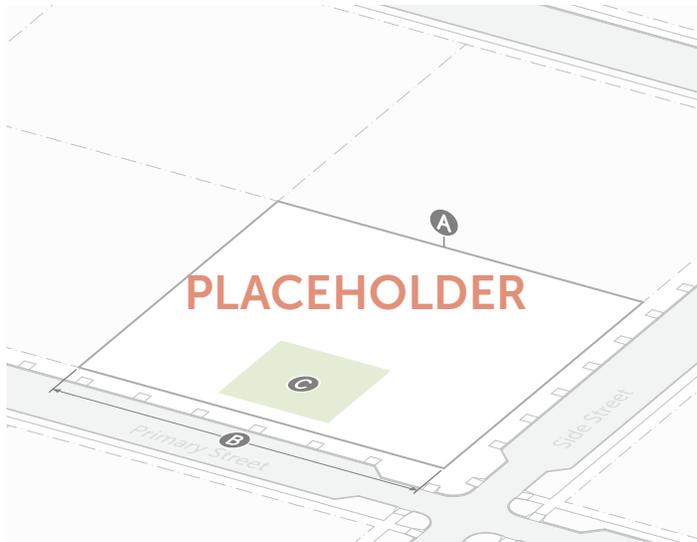


1. HEIGHT		Sec. X.XX.X
<b>A</b>	Overall height (max stories/feet)	
	Base	5 / 72'
	Bonus	7 / 100'
2. MASSING		Sec. X.XX.X
<b>B</b>	Width (max)	275'
	Active depth (min)	
<b>C</b>	Primary street	15'
<b>D</b>	Side street	9'
3. GROUND STORY		Sec. X.XX.X
<b>E</b>	Story height (min)	
	Residential	10'
	Nonresidential	14'
<b>F</b>	Finished floor elevation (min/max)	
	Residential	2' / 5'
	Nonresidential	-2' / 5'

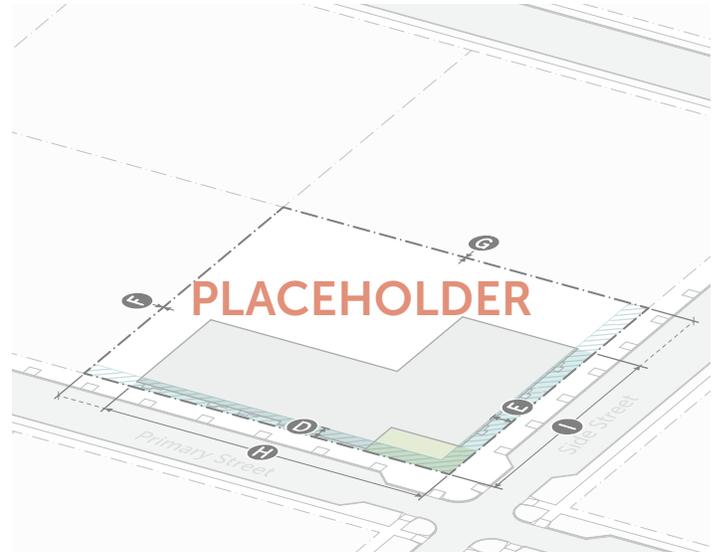
	Primary St.	Side St.
4. TRANSPARENCY		Sec. X.XX.X
<b>G</b>	Ground story (min)	
	Residential	35% 30%
	Nonresidential	50% 30%
<b>H</b>	Upper story (min)	
	20% 20%	
<b>I</b>	Blank wall width (max)	
	15' 25'	
5. ENTRANCES		Sec. X.XX.X
<b>J</b>	Street-facing entry spacing (max)	
	40' 60'	
	Entry feature	Yes Yes
6. WALLS & FENCES		Sec. X.XX.X
	Front yard height (max)	Type X   4'
	Side street yard height (max)	Type X   6'

2.4.3. **CX-8** CORRIDOR MIXED USE 8

## A. ZONING LOT

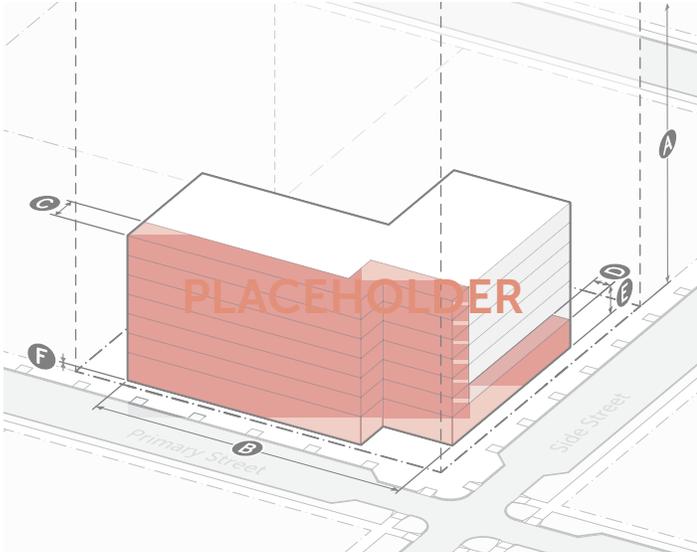


<b>1. SIZE FOR SUBDIVISION</b>	Sec. X.XX.X
<b>A</b> Area (min)	None
<b>B</b> Width (min)	
Front access	40'
Side/rear access	15'
<b>2. DENSITY</b>	Sec. X.XX.X
Dwellings per zoning lot (max)	Unlimited
<b>3. COVERAGE</b>	Sec. X.XX.X
Building coverage (max)	None
<b>C</b> Outdoor amenity space	10%



<b>4. BUILDING SETBACKS</b>	Sec. X.XX.X
<b>D</b> Primary street lot line (min/max)	0' / 10'
<b>E</b> Side street lot line (min/max)	0' / 10'
<b>F</b> Side lot line (min)	0'
<b>G</b> Rear lot line (min)	0'
Alley lot line (min)	5'
<b>5. BUILD-TO</b>	Sec. X.XX.X
Build-to width (min)	
<b>H</b> Primary street	75%
<b>I</b> Side street	45%
<b>6. TRANSITION</b>	Sec. X.XX.X
Transition type	Type X
<b>7. PARKING LOCATION</b>	Sec. X.XX.X
Front yard	Not allowed
Side street yard	Not allowed
Side yard	Allowed
Rear yard	Allowed

B. BUILDING



1. HEIGHT		Sec. X.XX.X
<b>A</b>	Overall height (max stories/feet)	
	Base	8 / 114'
	Bonus	10 / 142'
2. MASSING		Sec. X.XX.X
<b>B</b>	Width (max)	275'
	Active depth (min)	
<b>C</b>	Primary street	15'
<b>D</b>	Side street	9'
3. GROUND STORY		Sec. X.XX.X
<b>E</b>	Story height (min)	
	Residential	10'
	Nonresidential	14'
<b>F</b>	Finished floor elevation (min/max)	
	Residential	2' / 5'
	Nonresidential	-2' / 5'

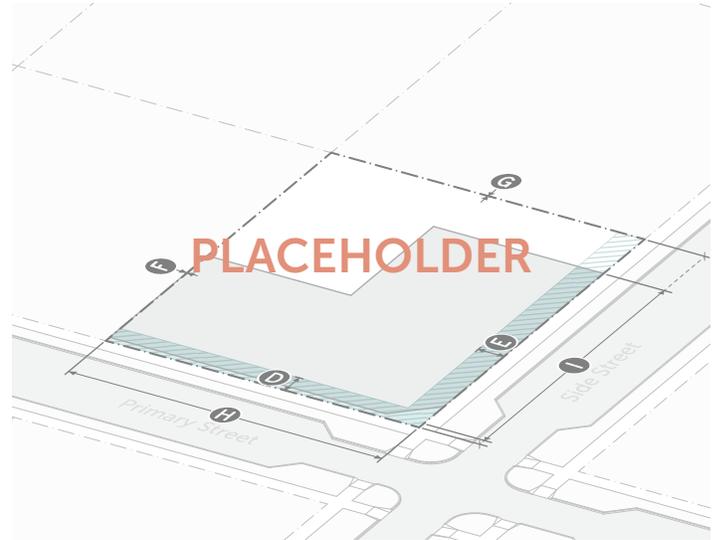
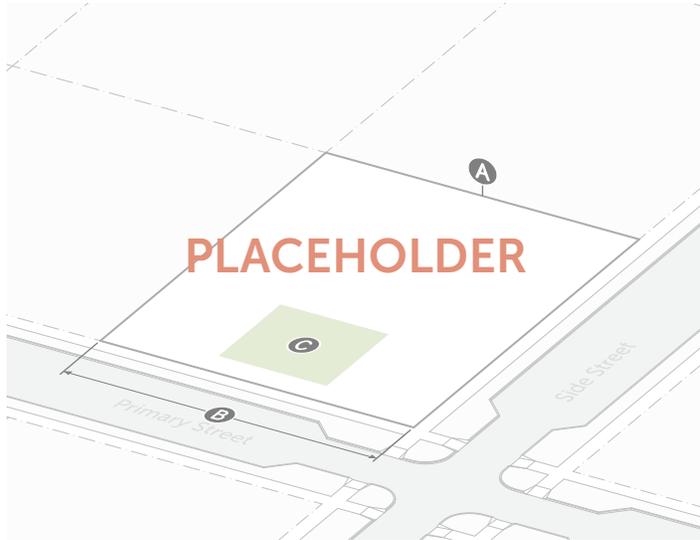
	Primary St.	Side St.
4. TRANSPARENCY		Sec. X.XX.X
<b>G</b>	Ground story (min)	
	Residential	35% 30%
	Nonresidential	50% 30%
<b>H</b>	Upper story (min)	
	20% 20%	
<b>I</b>	Blank wall width (max)	
	15' 25'	
5. ENTRANCES		Sec. X.XX.X
<b>J</b>	Street-facing entry spacing (max)	
	40' 60'	
	Entry feature	Yes Yes
6. WALLS & FENCES		Sec. X.XX.X
	Front yard height (max)	Type X   4'
	Side street yard height (max)	Type X   6'

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## DIV. 2.5. **NODE MIXED USE**

2.5.1. **NX-3** NODE MIXED USE 3

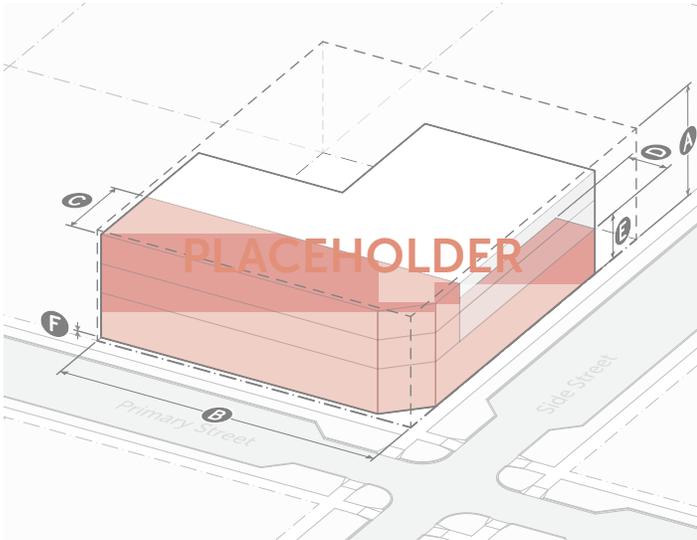
A. ZONING LOT



<b>1. SIZE FOR SUBDIVISION</b>	Sec. X.XX.X
<b>A</b> Area (min)	None
<b>B</b> Width (min)	
Front access	60'
Side/rear access	15'
<b>2. DENSITY</b>	Sec. X.XX.X
Dwellings per zoning lot (max)	Unlimited
<b>3. COVERAGE</b>	Sec. X.XX.X
Building coverage (max)	None
<b>C</b> Outdoor amenity space	10%

<b>4. BUILDING SETBACKS</b>	Sec. X.XX.X
<b>D</b> Primary street lot line (min/max)	0' / 10'
<b>E</b> Side street lot line (min/max)	0' / 10'
<b>F</b> Side lot line (min)	0'
<b>G</b> Rear lot line (min)	0'
Alley lot line (min)	5'
<b>5. BUILD-TO</b>	Sec. X.XX.X
Build-to width (min)	
<b>H</b> Primary street	85%
<b>I</b> Side street	65%
<b>6. TRANSITION</b>	Sec. X.XX.X
Transition type	Type X
<b>7. PARKING LOCATION</b>	Sec. X.XX.X
Front yard	Not allowed
Side street yard	Not allowed
Side yard	Allowed
Rear yard	Allowed

B. BUILDING

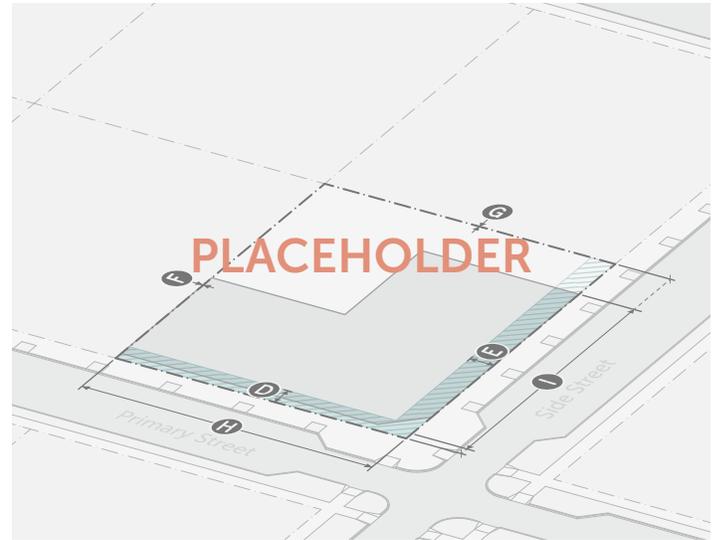


1. HEIGHT		Sec. X.XX.X
<b>A</b>	Overall height (max stories/feet)	
	Base	3 / 44'
	Bonus	5 / 72'
2. MASSING		Sec. X.XX.X
<b>B</b>	Width (max)	175'
<b>C</b>	Active depth (min)	
	Framework street	30'
	Local street	15'
3. GROUND STORY		Sec. X.XX.X
<b>D</b>	Story height (min)	14'
<b>E</b>	Finished floor elevation (min/max)	-2' / 5'

	Primary St.	Side St.
4. TRANSPARENCY		Sec. X.XX.X
<b>F</b>	Ground story (min)	
	Framework street	70% 35%
	Local street	50% 35%
<b>G</b>	Upper story (min)	
	20% 20%	
<b>H</b>	Blank wall width (max)	
	10' 20'	
5. ENTRANCES		Sec. X.XX.X
<b>I</b>	Street-facing entry spacing (max)	
	40' 60'	
	Entry feature	Yes Yes
6. WALLS & FENCES		Sec. X.XX.X
	Front yard height (max)	Type X   0'
	Side street yard height (max)	Type X   0'

## 2.5.2. NX-5 NODE MIXED USE 5

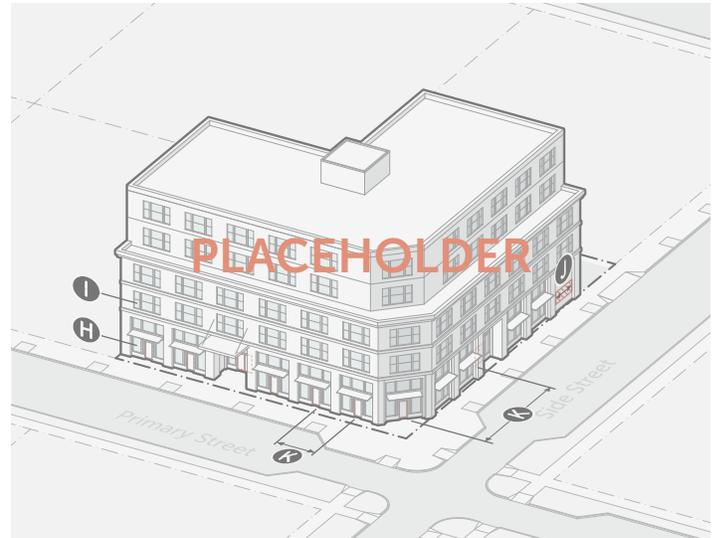
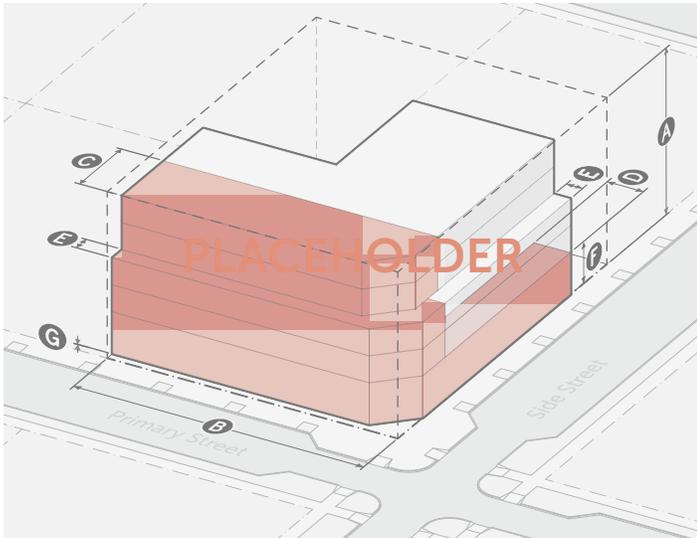
### A. ZONING LOT



<b>1. SIZE FOR SUBDIVISION</b>	Sec. X.XX.X
<b>A</b> Area (min)	None
<b>B</b> Width (min)	
Front access	60'
Side/rear access	15'
<b>2. DENSITY</b>	Sec. X.XX.X
Dwellings per zoning lot (max)	Unlimited
<b>3. COVERAGE</b>	Sec. X.XX.X
Building coverage (max)	None
<b>C</b> Outdoor amenity space	10%

<b>4. BUILDING SETBACKS</b>	Sec. X.XX.X
<b>D</b> Primary street lot line (min/max)	0' / 10'
<b>E</b> Side street lot line (min/max)	0' / 10'
<b>F</b> Side lot line (min)	0'
<b>G</b> Rear lot line (min)	0'
Alley lot line (min)	5'
<b>5. BUILD-TO</b>	Sec. X.XX.X
Build-to width (min)	
<b>H</b> Primary street	85%
<b>I</b> Side street	65%
<b>6. TRANSITION</b>	Sec. X.XX.X
Transition type	Type X
<b>7. PARKING LOCATION</b>	Sec. X.XX.X
Front yard	Not allowed
Side street yard	Not allowed
Side yard	Allowed
Rear yard	Allowed

B. BUILDING



1. HEIGHT		Sec. X.XX.X
<b>A</b>	Overall height (max stories/feet)	
	Base	5 / 72'
	Bonus	7 / 100'
2. MASSING		Sec. X.XX.X
<b>B</b>	Width (max)	175'
<b>C</b>	Active depth (min)	
	Framework street	30'
	Local street	15'
3. GROUND STORY		Sec. X.XX.X
<b>D</b>	Story height (min)	14'
<b>E</b>	Finished floor elevation (min/max)	-2' / 5'

	Primary St.	Side St.
4. TRANSPARENCY		Sec. X.XX.X
<b>F</b>	Ground story (min)	
	Framework street	70% 35%
	Local street	50% 35%
<b>G</b>	Upper story (min)	
		20% 20%
<b>H</b>	Blank wall width (max)	
		10' 20'
5. ENTRANCES		Sec. X.XX.X
<b>I</b>	Street-facing entry spacing (max)	
		40' 60'
	Entry feature	
		Yes Yes
6. WALLS & FENCES		Sec. X.XX.X
	Front yard height (max)	
		Type X   0'
	Side street yard height (max)	
		Type X   0'

## 2.5.3. NX-8 NODE MIXED USE 8

### A. ZONING LOT

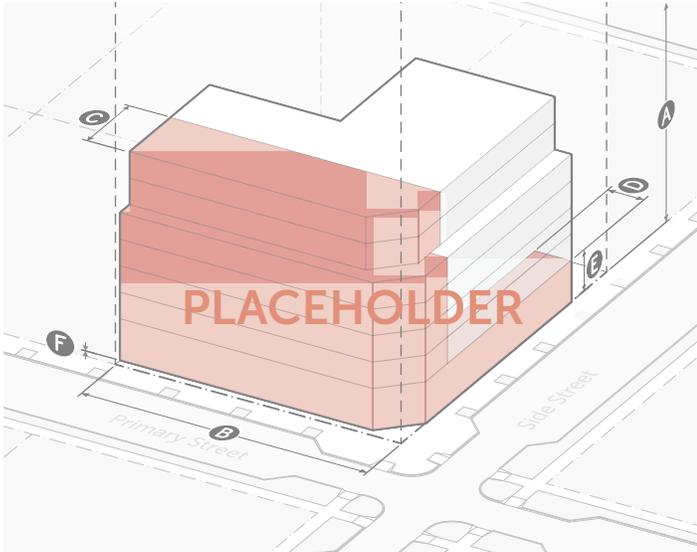


<b>1. SIZE FOR SUBDIVISION</b>	Sec. X.XX.X
<b>A</b> Area (min)	None
<b>B</b> Width (min)	
Front access	60'
Side/rear access	15'
<b>2. DENSITY</b>	Sec. X.XX.X
Dwellings per zoning lot (max)	Unlimited
<b>3. COVERAGE</b>	Sec. X.XX.X
Building coverage (max)	None
<b>C</b> Outdoor amenity space	10%



<b>4. BUILDING SETBACKS</b>	Sec. X.XX.X
<b>D</b> Primary street lot line (min/max)	0' / 10'
<b>E</b> Side street lot line (min/max)	0' / 10'
<b>F</b> Side lot line (min)	0'
<b>G</b> Rear lot line (min)	0'
Alley lot line (min)	5'
<b>5. BUILD-TO</b>	Sec. X.XX.X
Build-to width (min)	
<b>H</b> Primary street	85%
<b>I</b> Side street	65%
<b>6. TRANSITION</b>	Sec. X.XX.X
Transition type	Type X
<b>7. PARKING LOCATION</b>	Sec. X.XX.X
Front yard	Not allowed
Side street yard	Not allowed
Side yard	Allowed
Rear yard	Allowed

B. BUILDING

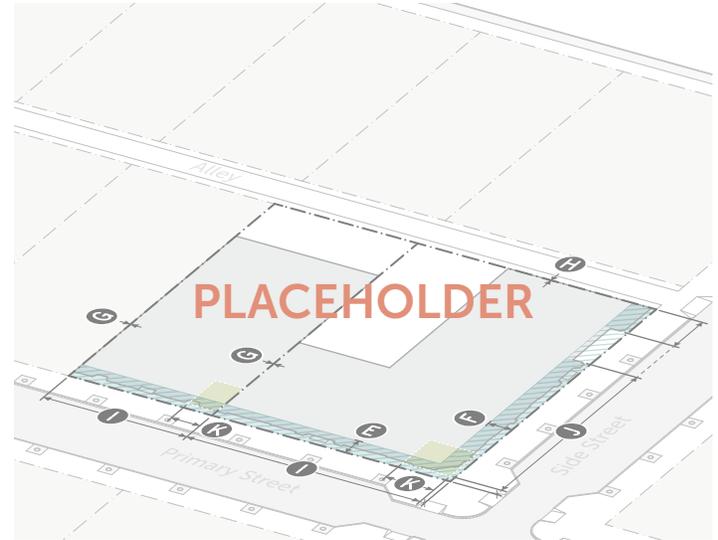


1. HEIGHT		Sec. X.XX.X
<b>A</b>	Overall height (max stories/feet)	
	Base	8 / 114'
	Bonus	10 / 142'
2. MASSING		Sec. X.XX.X
<b>B</b>	Width (max)	175'
<b>C</b>	Active depth (min)	
	Framework street	30'
	Local street	15'
3. GROUND STORY		Sec. X.XX.X
<b>D</b>	Story height (min)	14'
<b>E</b>	Finished floor elevation (min/max)	-2' / 5'

	Primary St.	Side St.
4. TRANSPARENCY		Sec. X.XX.X
<b>F</b>	Ground story (min)	
	Framework street	70% 35%
	Local street	50% 35%
<b>G</b>	Upper story (min)	
		20% 20%
<b>H</b>	Blank wall width (max)	
		10' 20'
5. ENTRANCES		Sec. X.XX.X
<b>I</b>	Street-facing entry spacing (max)	
		40' 60'
	Entry feature	Yes Yes
6. WALLS & FENCES		Sec. X.XX.X
	Front yard height (max)	Type X   0'
	Side street yard height (max)	Type X   0'

## 2.5.4. NX-10 NODE MIXED USE 10

### A. ZONING LOT

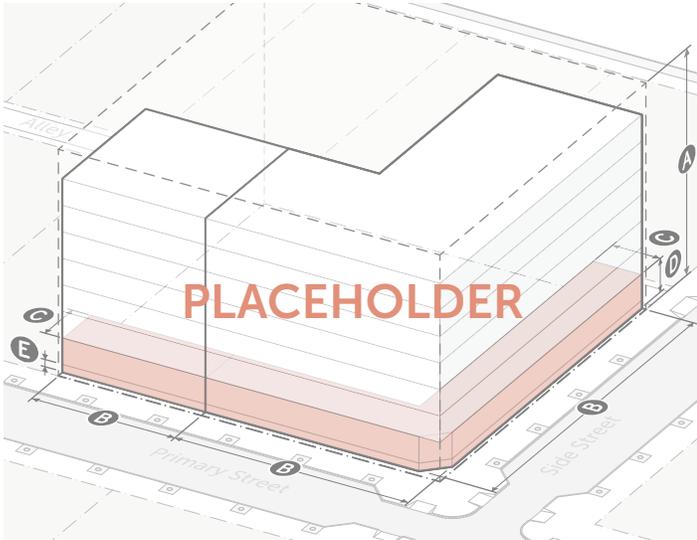


<b>1. SIZE FOR SUBDIVISION</b>	Sec. X.XX.X
<b>A</b> Area (min)	None
<b>B</b> Width (min)	
Front access	60'
Side/rear access	15'
<b>2. DENSITY</b>	Sec. X.XX.X
Dwellings per zoning lot (max)	Unlimited
<b>3. COVERAGE</b>	Sec. X.XX.X
Building coverage (max)	None
<b>C</b> Outdoor amenity space	10%

<b>4. BUILDING SETBACKS</b>	Sec. X.XX.X
<b>D</b> Primary street lot line (min/max)	0' / 10'
<b>E</b> Side street lot line (min/max)	0' / 10'
<b>F</b> Side lot line (min)	0'
<b>G</b> Rear lot line (min)	0'
Alley lot line (min)	5'
<b>5. BUILD-TO</b>	Sec. X.XX.X
Build-to width (min)	
<b>H</b> Primary street	85%
<b>I</b> Side street	65%
<b>6. TRANSITION</b>	Sec. X.XX.X
Transition type	Type X
<b>7. PARKING LOCATION</b>	Sec. X.XX.X
Front yard	Not allowed
Side street yard	Not allowed
Side yard	Allowed
Rear yard	Allowed

NX-10

B. BUILDING

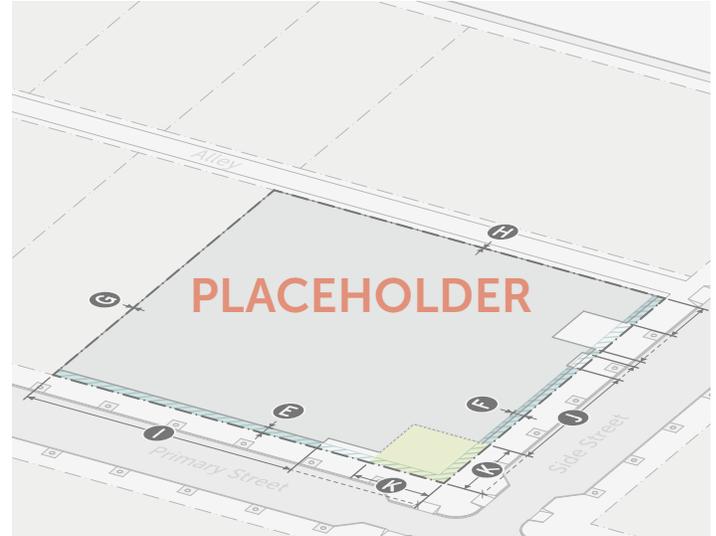
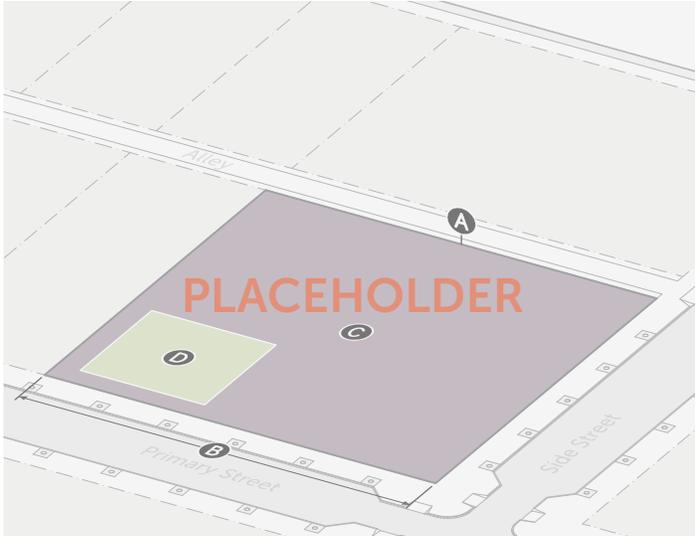


1. HEIGHT		Sec. X.XX.X
<b>A</b>	Overall height (max stories/feet)	
	Base	10 / 142'
	Bonus	12 / 170'
2. MASSING		Sec. X.XX.X
<b>B</b>	Width (max)	175'
<b>C</b>	Active depth (min)	
	Framework street	30'
	Local street	15'
3. GROUND STORY		Sec. X.XX.X
<b>D</b>	Story height (min)	14'
<b>E</b>	Finished floor elevation (min/max)	-2' / 5'

		Primary St.	Side St.
4. TRANSPARENCY		Sec. X.XX.X	
<b>F</b>	Ground story (min)		
	Framework street	70%	35%
	Local street	50%	35%
<b>G</b>	Upper story (min)	20%	20%
<b>H</b>	Blank wall width (max)	10'	20'
5. ENTRANCES		Sec. X.XX.X	
<b>I</b>	Street-facing entry spacing (max)	40'	60'
	Entry feature	Yes	Yes
6. WALLS & FENCES		Sec. X.XX.X	
	Front yard height (max)	Type X   0'	
	Side street yard height (max)	Type X   0'	

## 2.5.5. DX DOWNTOWN MIXED USE

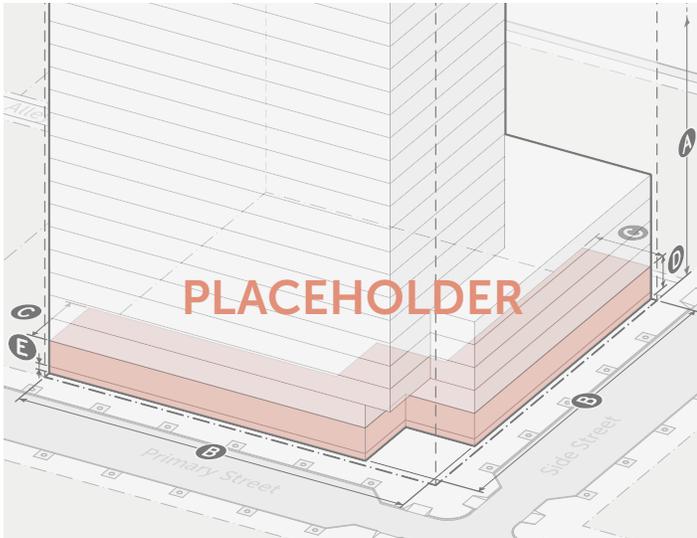
### A. ZONING LOT



<b>1. SIZE FOR SUBDIVISION</b>	Sec. X.XX.X
<b>A</b> Area (min)	None
<b>B</b> Width (min)	
Front access	60'
Side/rear access	15'
<b>2. DENSITY</b>	Sec. X.XX.X
Dwellings per zoning lot (max)	Unlimited
<b>3. COVERAGE</b>	Sec. X.XX.X
Building coverage (max)	None
<b>C</b> Outdoor amenity space	10%

<b>4. BUILDING SETBACKS</b>	Sec. X.XX.X
<b>D</b> Primary street lot line (min/max)	0' / 10'
<b>E</b> Side street lot line (min/max)	0' / 10'
<b>F</b> Side lot line (min)	0'
<b>G</b> Rear lot line (min)	0'
Alley lot line (min)	5'
<b>5. BUILD-TO</b>	Sec. X.XX.X
Build-to width (min)	
<b>H</b> Primary street	85%
<b>I</b> Side street	65%
<b>6. TRANSITION</b>	Sec. X.XX.X
Transition type	Type X
<b>7. PARKING LOCATION</b>	Sec. X.XX.X
Front yard	Not allowed
Side street yard	Not allowed
Side yard	Allowed
Rear yard	Allowed

B. BUILDING



1. HEIGHT		Sec. X.XX.X
<b>A</b>	Overall height (max stories/feet)	
	Base	10 / 142'
	Bonus	12 / 170'
2. MASSING		Sec. X.XX.X
<b>B</b>	Width (max)	175'
<b>C</b>	Active depth (min)	
	Pedestrian mall	45'
	Downtown street	30'
	Local street	15'
3. GROUND STORY		Sec. X.XX.X
<b>D</b>	Story height (min)	
	Pedestrian mall	16'
	Downtown street	14'
	Local street	14'
<b>E</b>	Finished floor elevation (min/max)	-2' / 5'

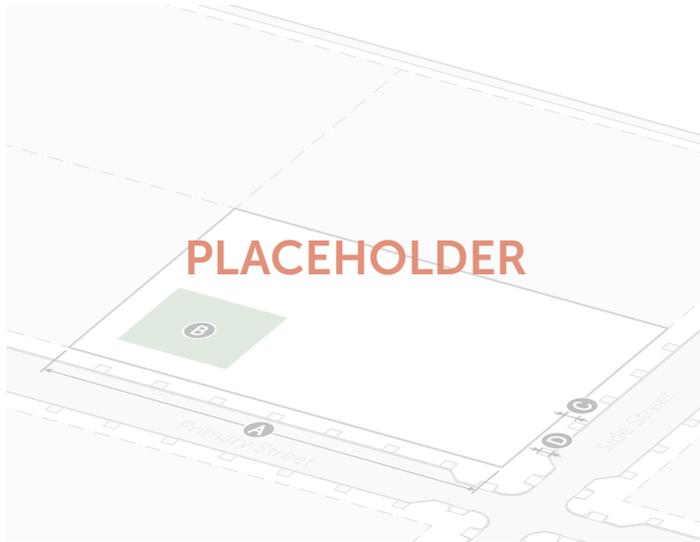
	Primary St.	Side St.
4. TRANSPARENCY		
<b>F</b>	Ground story (min)	
	Pedestrian mall	70% 35%
	Downtown street	60% 35%
	Local street	50% 35%
<b>G</b>	Upper story (min)	
	20% 20%	
<b>H</b>	Blank wall width (max)	
	10' 20'	
5. ENTRANCES		
<b>I</b>	Street-facing entry spacing (max)	
	40' 60'	
	Entry feature	Yes Yes
6. WALLS & FENCES		
	Front yard height (max)	Type X   0'
	Side street yard height (max)	Type X   0'

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## DIV. 2.6. **INDUSTRIAL FLEX**

## 2.6.1. IX-5 INDUSTRIAL FLEX 5

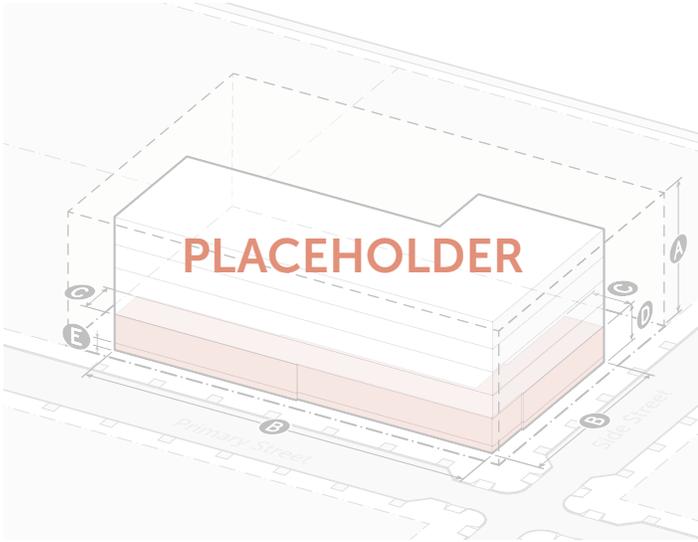
### A. ZONING LOT



<b>1. SIZE FOR SUBDIVISION</b>	Sec. X.XX.X
<b>A</b> Area (min)	None
<b>B</b> Width (min)	
Front access	40'
Side/rear access	15'
<b>2. DENSITY</b>	Sec. X.XX.X
Dwellings per zoning lot (max)	Unlimited
<b>3. COVERAGE</b>	Sec. X.XX.X
<b>C</b> Building coverage (max)	80%
<b>D</b> Outdoor amenity space	10%

<b>4. BUILDING SETBACKS</b>	Sec. X.XX.X
<b>E</b> Primary street lot line (min/max)	5' / 20'
<b>F</b> Side street lot line (min/max)	5' / 20'
<b>G</b> Side lot line (min)	0'
<b>H</b> Rear lot line (min)	0'
Alley lot line (min)	5'
<b>5. BUILD-TO</b>	Sec. X.XX.X
Build-to width (min)	
<b>I</b> Primary street	75%
<b>J</b> Side street	45%
<b>6. TRANSITION</b>	Sec. X.XX.X
Transition type	Type X
<b>7. PARKING LOCATION</b>	Sec. X.XX.X
Front yard	Not allowed
Side street yard	Allowed
Side yard	Allowed
Rear yard	Allowed

B. BUILDING

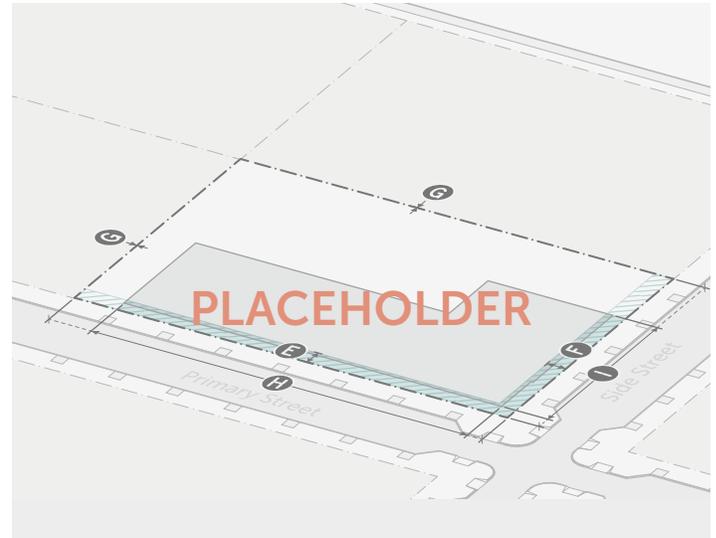
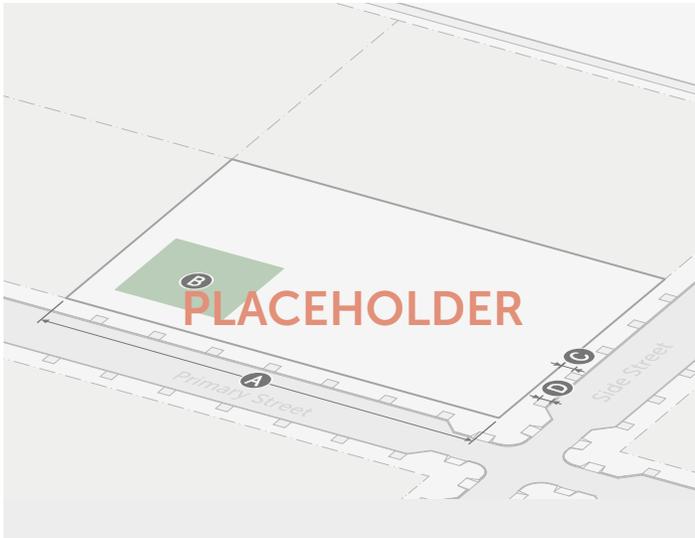


	Primary St.	Side St.
<b>1. HEIGHT</b>	Sec. X.XX.X	
<b>A</b> Overall height (max stories/feet)		
Base	5 / 72'	
Bonus	7 / 100'	
<b>2. MASSING</b>	Sec. X.XX.X	
<b>B</b> Width (max)	275'	
<b>C</b> Active depth (min)	15'	
<b>3. GROUND STORY</b>	Sec. X.XX.X	
<b>D</b> Story height (min)	14'	
<b>E</b> Finished floor elevation (min/max)	-2' / 5'	

	Primary St.	Side St.
<b>4. TRANSPARENCY</b>	Sec. X.XX.X	
<b>F</b> Ground story (min)	50%	30%
<b>G</b> Upper story (min)	20%	20%
<b>H</b> Blank wall width (max)	20'	40'
<b>5. ENTRANCES</b>	Sec. X.XX.X	
<b>I</b> Street-facing entry spacing (max)	50'	75'
Entry feature	Yes	Yes
<b>6. WALLS &amp; FENCES</b>	Sec. X.XX.X	
Front yard height (max)	Type X   6'	
Side street yard height (max)	Type X   6'	

## 2.6.2. IX-8 INDUSTRIAL FLEX 8

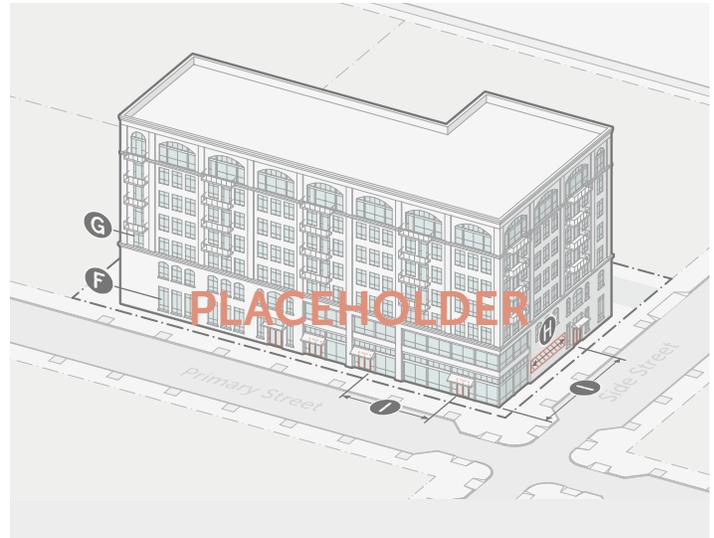
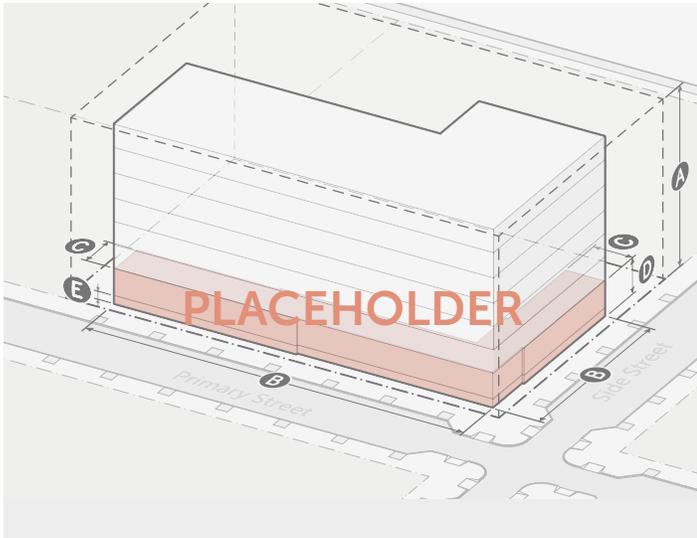
### A. ZONING LOT



<b>1. SIZE FOR SUBDIVISION</b>	Sec. X.XX.X
<b>A</b> Area (min)	None
<b>B</b> Width (min)	
Front access	40'
Side/rear access	15'
<b>2. DENSITY</b>	Sec. X.XX.X
Dwellings per zoning lot (max)	Unlimited
<b>3. COVERAGE</b>	Sec. X.XX.X
<b>C</b> Building coverage (max)	80%
<b>D</b> Outdoor amenity space	10%

<b>4. BUILDING SETBACKS</b>	Sec. X.XX.X
<b>E</b> Primary street lot line (min/max)	5' / 20'
<b>F</b> Side street lot line (min/max)	5' / 20'
<b>G</b> Side lot line (min)	0'
<b>H</b> Rear lot line (min)	0'
Alley lot line (min)	5'
<b>5. BUILD-TO</b>	Sec. X.XX.X
Build-to width (min)	
<b>I</b> Primary street	75%
<b>J</b> Side street	45%
<b>6. TRANSITION</b>	Sec. X.XX.X
Transition type	Type X
<b>7. PARKING LOCATION</b>	Sec. X.XX.X
Front yard	Not allowed
Side street yard	Allowed
Side yard	Allowed
Rear yard	Allowed

B. BUILDING



1. HEIGHT		Sec. X.XX.X
<b>A</b>	Overall height (max stories/feet)	
	Base	8 / 114'
	Bonus	10 / 142'
2. MASSING		Sec. X.XX.X
<b>B</b>	Width (max)	275'
<b>C</b>	Active depth (min)	15'
3. GROUND STORY		Sec. X.XX.X
<b>D</b>	Story height (min)	14'
<b>E</b>	Finished floor elevation (min/max)	-2' / 5'

	Primary St.	Side St.
4. TRANSPARENCY		Sec. X.XX.X
<b>F</b>	Ground story (min)	50%   30%
<b>G</b>	Upper story (min)	20%   20%
<b>H</b>	Blank wall width (max)	20'   40'
5. ENTRANCES		Sec. X.XX.X
<b>I</b>	Street-facing entry spacing (max)	50'   75'
	Entry feature	Yes   Yes
6. WALLS & FENCES		Sec. X.XX.X
	Front yard height (max)	Type X   6'
	Side street yard height (max)	Type X   6'

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## DIV. 2.7. **SPECIAL**

## 2.7.1. CM CAMPUS

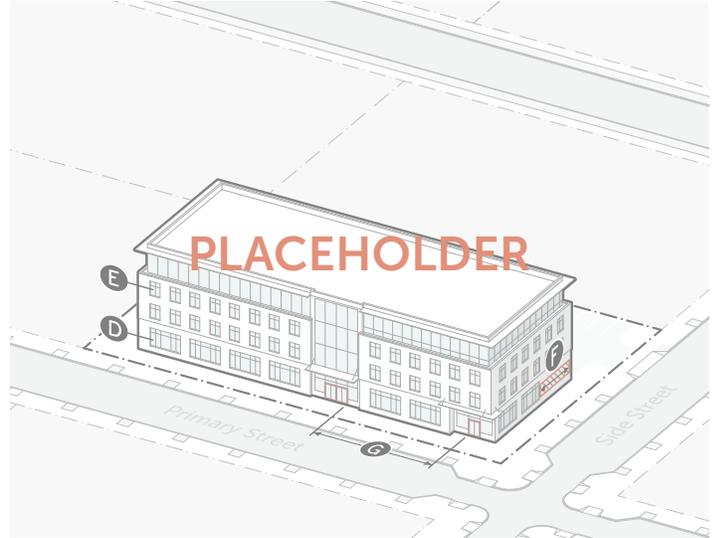
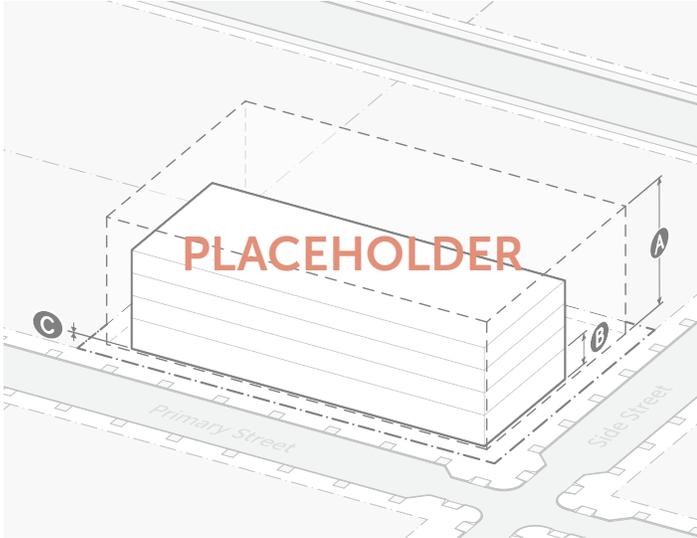
### A. ZONING LOT



<b>1. SIZE FOR SUBDIVISION</b>	Sec. X.XX.X
<b>A</b> Area (min)	10,000 SF
<b>B</b> Width (min)	100'
<b>2. DENSITY</b>	Sec. X.XX.X
Dwellings per zoning lot (max)	Unlimited
<b>3. COVERAGE</b>	Sec. X.XX.X
<b>C</b> Building coverage (max)	60%
<b>D</b> Outdoor amenity space	20%

<b>4. BUILDING SETBACKS</b>	Sec. X.XX.X
<b>E</b> Primary street lot line (min)	10'
<b>F</b> Side street lot line (min)	10'
<b>G</b> Side lot line (min)	10'
<b>H</b> Rear lot line (min)	10'
Alley lot line (min)	5'
<b>5. TRANSITION</b>	Sec. X.XX.X
Transition type	Type X
<b>6. PARKING LOCATION</b>	Sec. X.XX.X
Front yard	Not allowed
Side street yard	Allowed
Side yard	Allowed
Rear yard	Allowed

B. BUILDING

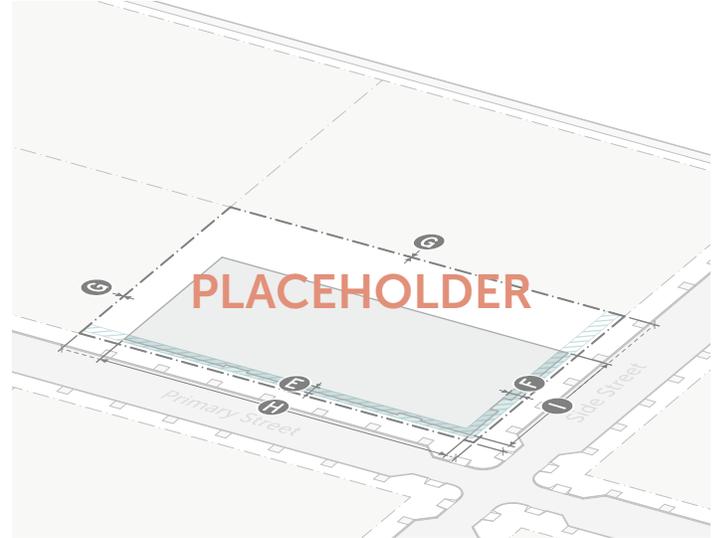
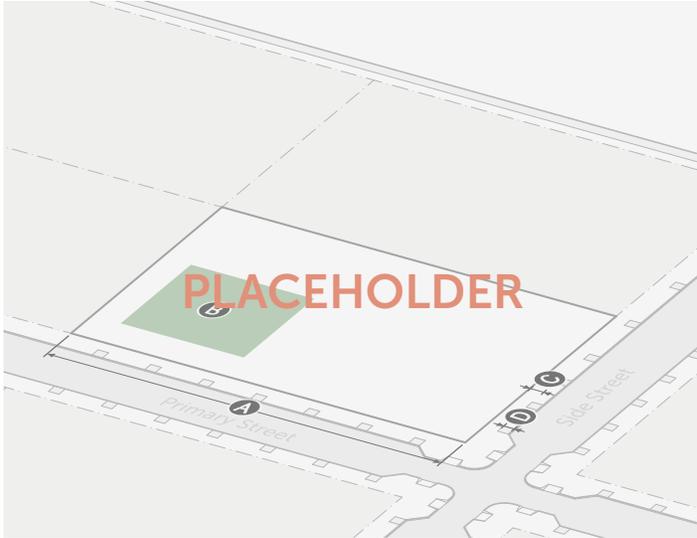


<b>1. HEIGHT</b>	Sec. X.XX.X
<b>A</b> Overall height (max stories/feet)	5 / 72'
<b>2. MASSING</b>	Sec. X.XX.X
Width (max)	None
Active depth (min)	None
<b>3. GROUND STORY</b>	Sec. X.XX.X
<b>B</b> Story height (min)	14'
<b>C</b> Finished floor elevation (min/max)	-2' / 5'

	Primary St.	Side St.
<b>4. TRANSPARENCY</b>	Sec. X.XX.X	
<b>D</b> Ground story (min)	30%	30%
<b>E</b> Upper story (min)	15%	15%
<b>F</b> Blank wall width (max)	25'	50'
<b>5. ENTRANCES</b>	Sec. X.XX.X	
<b>G</b> Street-facing entry spacing (max)	200'	250'
Entry feature	Yes	Yes
<b>6. WALLS &amp; FENCES</b>	Sec. X.XX.X	
Front yard height (max)	Type X   4'	
Side street yard height (max)	Type X   6'	

2.7.2. CV CIVIC

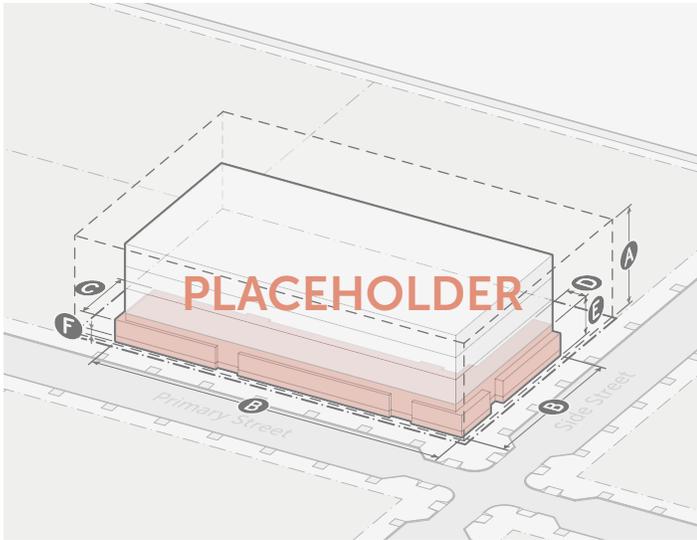
A. ZONING LOT



<b>1. SIZE FOR SUBDIVISION</b>	Sec. X.XX.X
<b>A</b> Area (min)	5,000 SF
<b>B</b> Width (min)	50'
<b>2. DENSITY</b>	Sec. X.XX.X
Dwellings per zoning lot (max)	Not allowed
<b>3. COVERAGE</b>	Sec. X.XX.X
<b>C</b> Building coverage (max)	50%
Outdoor amenity space	None

<b>4. BUILDING SETBACKS</b>	Sec. X.XX.X
<b>D</b> Primary street lot line (min)	10'
<b>E</b> Side street lot line (min)	10'
<b>F</b> Side lot line (min)	5'
<b>G</b> Rear lot line (min)	5'
Alley lot line (min)	5'
<b>5. TRANSITION</b>	Sec. X.XX.X
Transition type	Type X
<b>6. PARKING LOCATION</b>	Sec. X.XX.X
Front yard	Not allowed
Side street yard	Allowed
Side yard	Allowed
Rear yard	Allowed

B. BUILDING



1. <b>HEIGHT</b>	Sec. X.XX.X
Ⓐ Overall height (max stories/feet)	5 / 72'
2. <b>MASSING</b>	Sec. X.XX.X
Width (max)	None
Active depth (min)	None
3. <b>GROUND STORY</b>	Sec. X.XX.X
Story height (min)	None
Finished floor elevation (min/max)	None

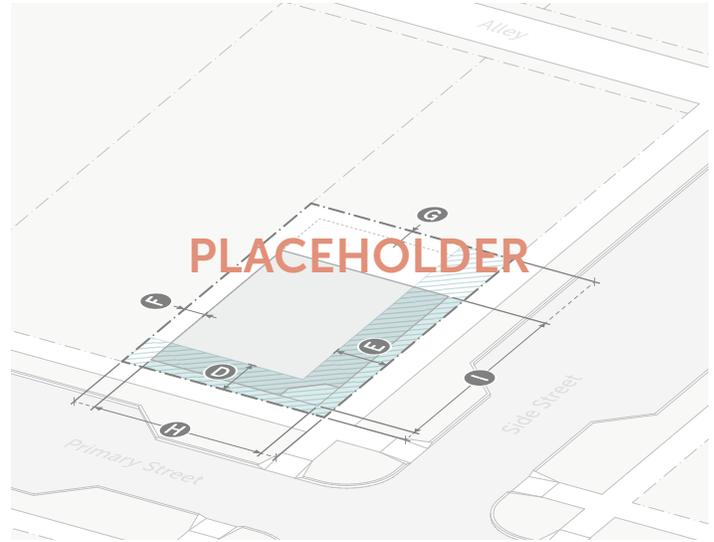
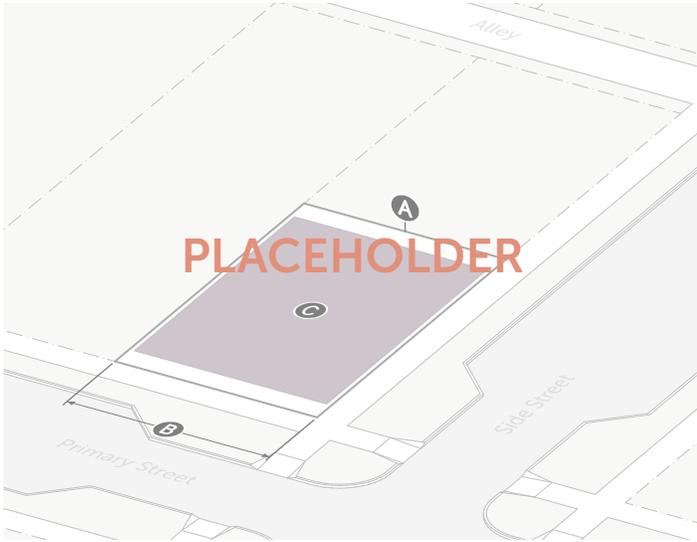
	Primary St.	Side St.
4. <b>TRANSPARENCY</b>	Sec. X.XX.X	
Ⓑ Ground story (min)	20%	20%
Upper story (min)	None	None
Blank wall width (max)	None	None
5. <b>ENTRANCES</b>	Sec. X.XX.X	
Ⓒ Street-facing entry spacing (max)	200'	250'
Entry feature	Yes	Yes
6. <b>WALLS &amp; FENCES</b>	Sec. X.XX.X	
Front yard height (max)	Type X   4'	
Side street yard height (max)	Type X   6'	

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## DIV. 2.8. ALTERNATIVE FORMS

## 2.8.1. SHOPFRONT HOUSE

### A. ZONING LOT

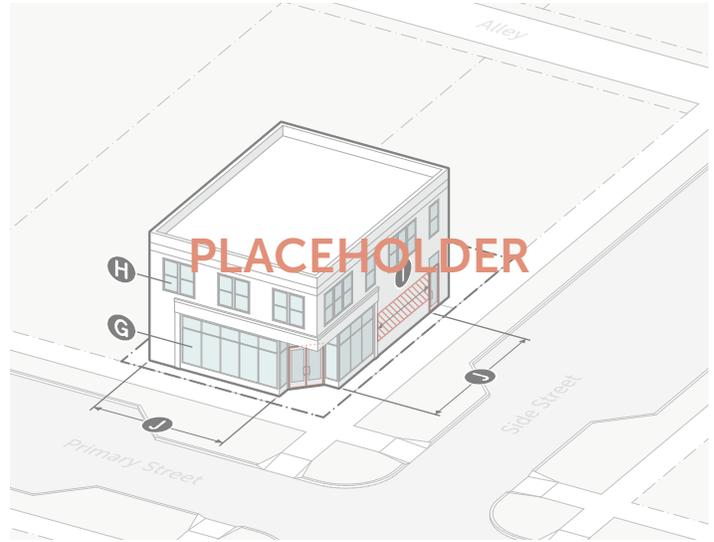
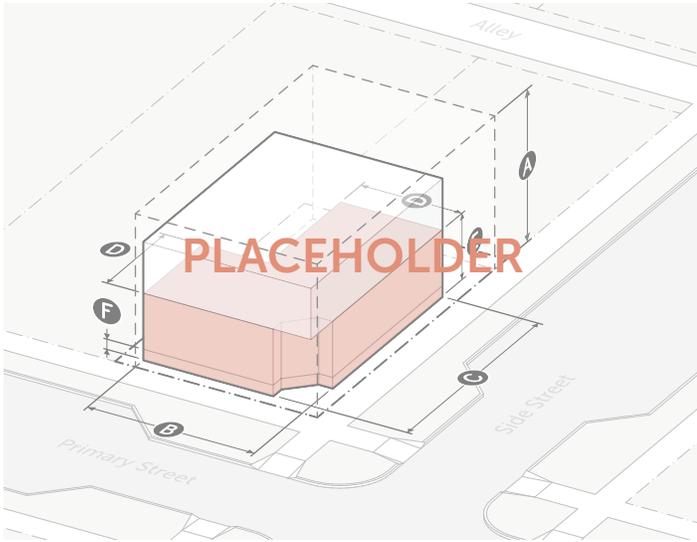


<b>1. SIZE FOR SUBDIVISION</b>	Sec. X.XX.X
<b>A</b> Area (min)	None
<b>B</b> Width (min)	25'
<b>2. DENSITY</b>	Sec. X.XX.X
Dwellings per zoning lot (max)	Set by district
<b>3. COVERAGE</b>	Sec. X.XX.X
<b>C</b> Building coverage (max)	80%
Outdoor amenity space	None

<b>4. BUILDING SETBACKS</b>	Sec. X.XX.X
<b>D</b> Primary street lot line (min/max)	5' / 15'
<b>E</b> Side street lot line (min/max)	5' / 15'
<b>F</b> Side lot line (min)	4'
<b>G</b> Rear / alley lot line (min)	4'
<b>5. BUILD-TO</b>	Sec. X.XX.X
Build-to width (min)	
<b>H</b> Primary street (min)	80%
<b>I</b> Side street (min)	60%
<b>6. PARKING LOCATION</b>	Sec. X.XX.X
Front yard	Not allowed
Side street yard	Not allowed
Side yard	Allowed
Rear yard	Allowed

# SHOPFRONT HOUSE

## B. BUILDING

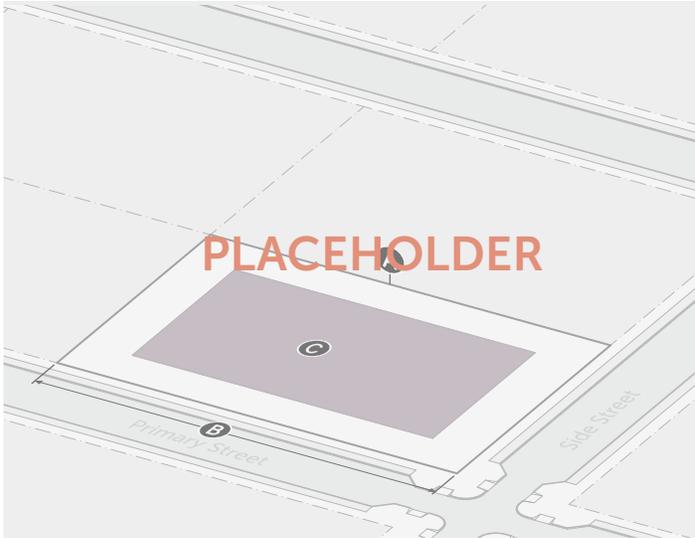


	Sec. X.XX.X
<b>1. HEIGHT</b>	Sec. X.XX.X
<b>A</b> Overall height (max stories/feet)	2 / 30'
<b>2. MASSING</b>	Sec. X.XX.X
Width (max)	
<b>B</b> Primary street	40'
<b>C</b> Side street	70'
<b>D</b> Active depth (min)	15'
<b>3. GROUND STORY</b>	Sec. X.XX.X
<b>E</b> Story height (min)	14'
<b>F</b> Finished floor elevation (min/max)	-2' / 5'

	Primary St.	Side St.
<b>4. TRANSPARENCY</b>	Sec. X.XX.X	
<b>G</b> Ground story (min)	50%	30%
<b>H</b> Upper story (min)	20%	20%
<b>I</b> Blank wall width (max)	10'	20'
<b>5. ENTRANCES</b>	Sec. X.XX.X	
<b>J</b> Street-facing entry spacing (max)	30'	50'
Entry feature	Yes	Yes
<b>6. WALLS &amp; FENCES</b>	Sec. X.XX.X	
Front yard height (max)	Type X   0'	
Side street yard height (max)	Type X   6'	

## 2.8.2. CIVIC INSTITUTION

### A. ZONING LOT

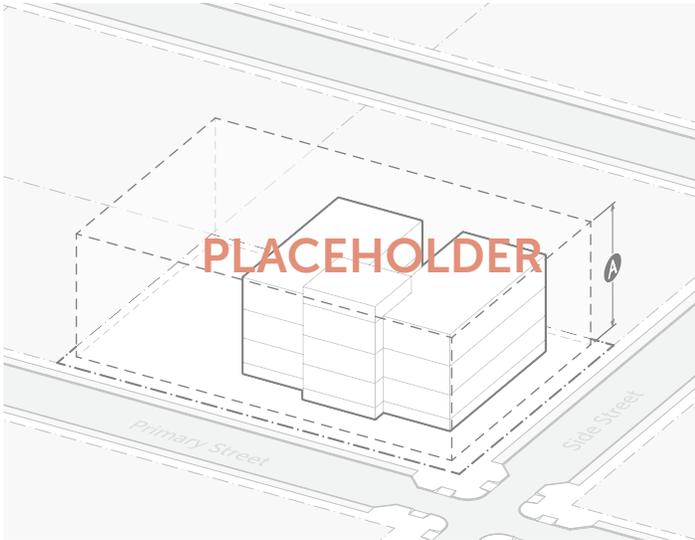


<b>1. SIZE FOR SUBDIVISION</b>	Sec. X.XX.X
<b>A</b> Area (min)	None
<b>B</b> Width (min)	25'
<b>2. DENSITY</b>	Sec. X.XX.X
Dwellings per zoning lot (max)	Set by district
<b>3. COVERAGE</b>	Sec. X.XX.X
<b>C</b> Building coverage (max)	Set by district
Outdoor amenity space	None

<b>4. BUILDING SETBACKS</b>	Sec. X.XX.X
<b>D</b> Primary street lot line (min/max)	Set by district
<b>E</b> Side street lot line (min/max)	Set by district
<b>F</b> Side lot line (min)	Set by district
<b>G</b> Rear / alley lot line (min)	Set by district
<b>5. BUILD-TO</b>	Sec. X.XX.X
<b>H</b> Build-to width (min)	Set by district
<b>6. PARKING LOCATION</b>	Sec. X.XX.X
Front yard	Not allowed
Side street yard	Not allowed
Side yard	Allowed
Rear yard	Allowed

CIVIC INSTITUTION

B. BUILDING

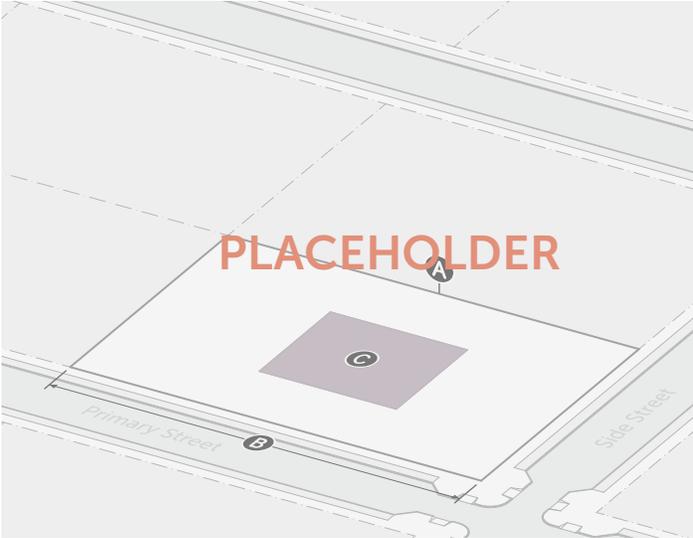


<b>1. HEIGHT</b>	Sec. X.XX.X
<b>A</b> Overall height (max stories/feet)	Set by district
<b>2. MASSING</b>	Sec. X.XX.X
Width (max)	None
Active depth (min)	None
<b>3. GROUND STORY</b>	Sec. X.XX.X
Story height (min)	None
Finished floor elevation (min/max)	None

	Primary St.	Side St.
<b>4. TRANSPARENCY</b>	Sec. X.XX.X	
<b>B</b> Ground story (min)	20%	20%
Upper story (min)	None	None
Blank wall width (max)	None	None
<b>5. ENTRANCES</b>	Sec. X.XX.X	
<b>C</b> Street-facing entry spacing (max)	200'	250'
Entry feature	Yes	Yes
<b>6. WALLS &amp; FENCES</b>	Sec. X.XX.X	
Front yard height (max)	Type X   4'	
Side street yard height (max)	Type X   6'	

## 2.8.3. PARK

### A. ZONING LOT

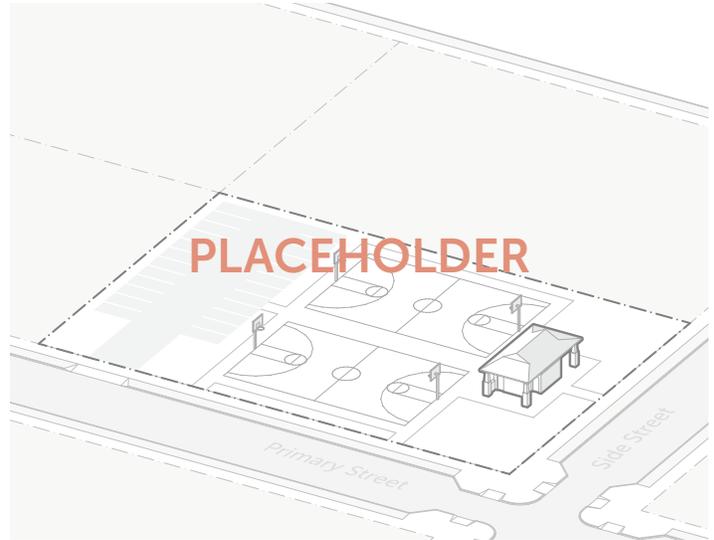
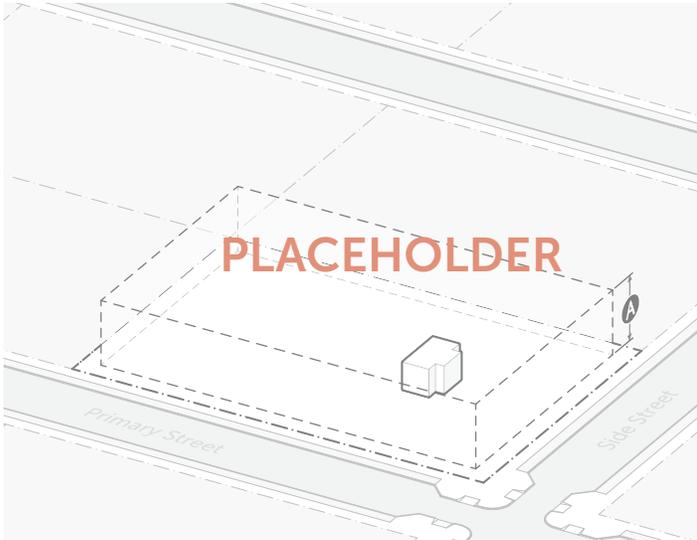


<b>1. SIZE FOR SUBDIVISION</b>	Sec. X.XX.X
<b>A</b> Area (min)	None
<b>B</b> Width (min)	25'
<b>2. DENSITY</b>	Sec. X.XX.X
Dwellings per zoning lot (max)	None
<b>3. COVERAGE</b>	Sec. X.XX.X
<b>C</b> Building coverage (max)	15%
Outdoor amenity space	None

<b>4. BUILDING SETBACKS</b>	Sec. X.XX.X
<b>D</b> Primary street lot line (min/max)	10'
<b>E</b> Side street lot line (min/max)	10'
<b>F</b> Side lot line (min)	10'
<b>G</b> Rear lot line (min)	10'
Alley lot line (min)	5'
<b>5. PARKING LOCATION</b>	Sec. X.XX.X
Front yard	Allowed
Side street yard	Allowed
Side yard	Allowed
Rear yard	Allowed

PARK

B. BUILDING



<b>1. HEIGHT</b>	Sec. X.XX.X
<b>A</b> Overall height (max feet)	35'
<b>2. MASSING</b>	Sec. X.XX.X
Width (max)	None
Active depth (min)	None
<b>3. GROUND STORY</b>	Sec. X.XX.X
Story height (min)	None
Finished floor elevation (min/max)	None

	Primary St.	Side St.
<b>4. TRANSPARENCY</b>	Sec. X.XX.X	
Ground story (min)	None	None
Upper story (min)	None	None
Blank wall width (max)	None	None
<b>5. ENTRANCES</b>	Sec. X.XX.X	
Street-facing entry spacing (max)	None	None
Entry feature	None	None
<b>6. WALLS &amp; FENCES</b>	Sec. X.XX.X	
Front yard height (max)	Type X   6'	
Side street yard height (max)	Type X   6'	

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## DIV. 2.9. **OVERLAY DISTRICTS**

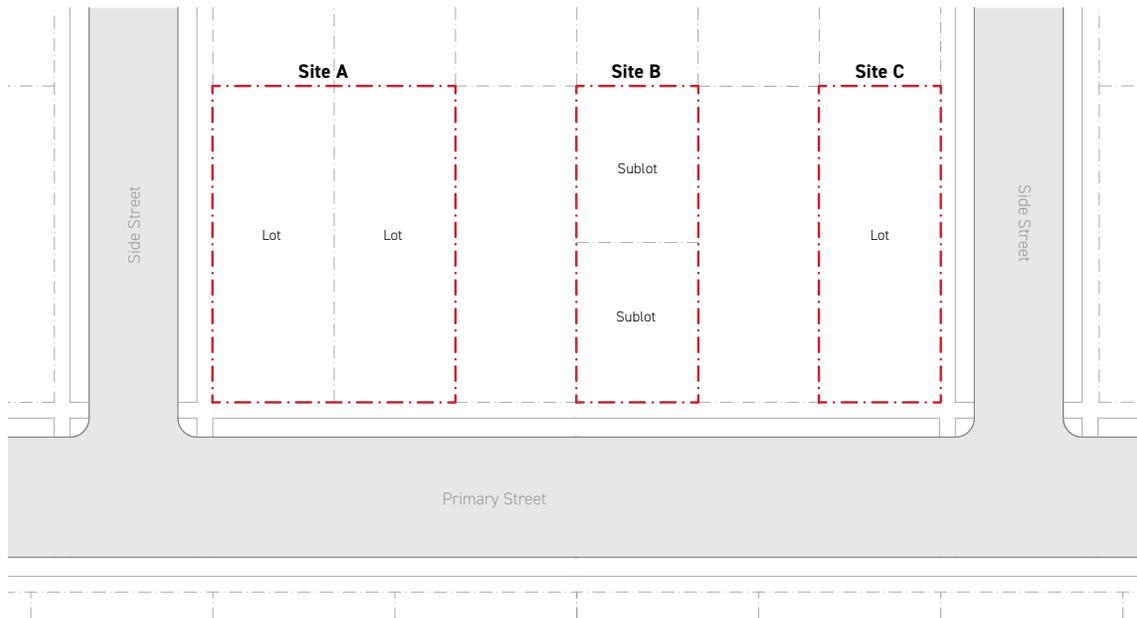
# DIV. 2.10. RULES FOR ZONING DISTRICTS

## 2.10.1. General Provisions

### A. Site, Zoning Lot, and Sublot Designation

#### 1. Site

- a. A site is a single lot or group of connected zoning lots owned or functionally controlled by the same person or entity, assembled for the purpose of development.
- b. A site must abut a primary street.



#### 2. Zoning Lot

- a. A zoning lot is a parcel, tract, or area of land established by a plat or other means as permitted by law, which is to be used, developed, or built upon.
- b. A zoning lot must abut a primary street.
- c. A zoning lot must meet the requirements of the zoning district.

#### 3. Sublot

- a. A sublot is a parcel of land, existing with other sublots on a single zoning lot, intended for the purpose of the transfer of ownership or possession or for development.
- b. A sublot is not required to abut a primary street, side street, or alley but must abut a permanent access easement that meets one of the following standards:
  - i. Vehicle access easement of at least 10 feet in width for a maximum length of 150', or as approved by the Fire Marshall; or
  - ii. Pedestrian access easement of at least 6 feet in width.

## B. Street Designation

### 1. Primary and Side Street Designations

- a. All streets abutting a zoning lot must be designated as either a primary street, side street, or alley.
- b. When a zoning lot abuts only one street, the street is considered a primary street.
- c. A zoning lot abutting multiple streets must designate at least one as a primary street.
- d. A zoning lot may abut more than one primary street.
- e. For zoning lots that abut multiple streets, the Zoning Administrator will determine primary streets using the following criteria listed from most important to less important:
  - i. The street or streets with the highest classification according to the Streets That Work plan;
  - ii. The established orientation of the block;
  - iii. The street abutting the longest face of the block; and
  - iv. The street parallel to an alley within the block.
- f. Any street not designated as a primary or alley is designated as a side street.

### 2. Streets That Work Designations

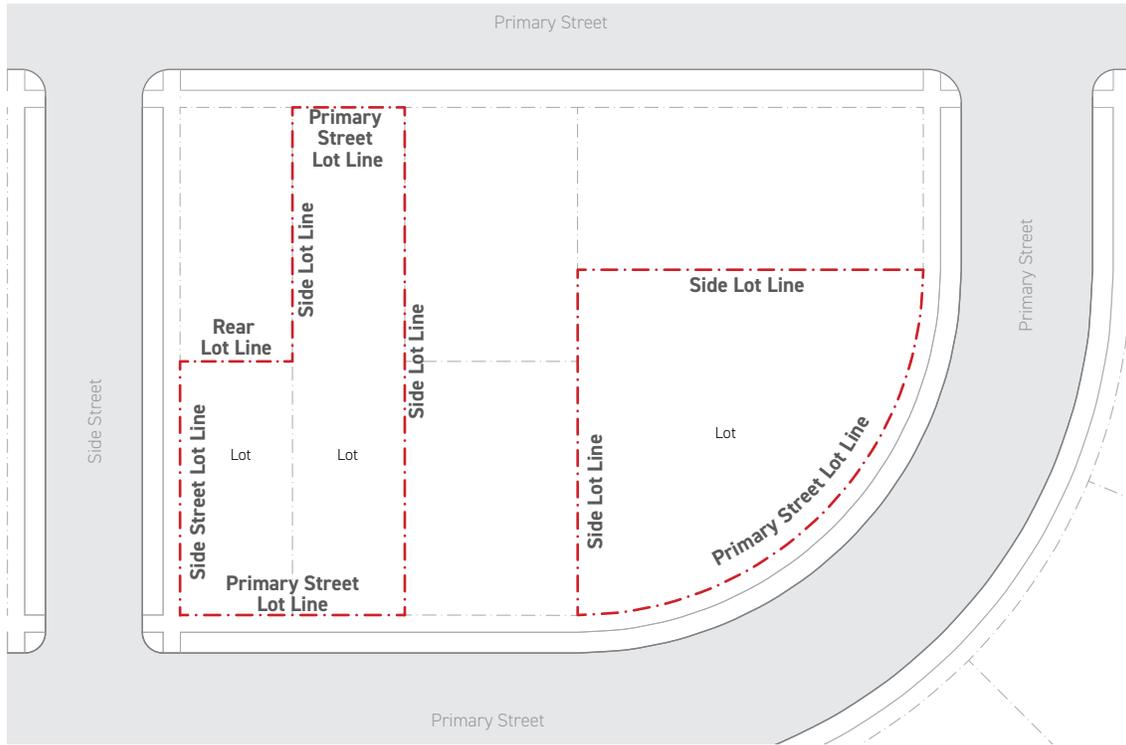
- a. When required by the zoning district, streets abutting a zoning lot must be designated as either a framework street or local street in addition to being designated as a primary street or side street.
- b. Framework streets are identified as the following street typologies in the Streets That Work plan:
  - i. Downtown
  - ii. Industrial
  - iii. Mixed Use A
  - iv. Mixed Use B
  - v. Neighborhood A
  - vi. Neighborhood B
- c. A local street is any street not identified as a framework street in the Streets That Work plan.

## C. Lot Line Designation

### 1. General

- a. Lot lines are designated for zoning lots only, lot lines are not designated for sublots.
- b. Each lot line must have one of the following designations and no lot line can have more than one of the following designations:
  - i. Primary street lot line;

- ii. Side street lot line;
- iii. Alley lot line;
- iv. Rear lot line; or
- v. Side lot line.



- c. Primary street lot lines, side street lot lines, and alley lot line designations apply to public and private streets.
- d. In addition to any other designation, lot lines may also serve as one of the following categories:
  - i. Street lot line; or
  - ii. Common lot line.

**2. Primary Street Lot Line**

*Any lot line that abuts a primary street.*

- a. Each zoning lot must have at least one primary street lot line. A zoning lot may have more than one primary street lot line.
- b. A lot line abutting a park, open space, river, trail, or pedestrian path may serve as a primary street lot line.
- c. Once designated for a zoning lot, a primary street lot line cannot be changed (e.g., a primary street lot line cannot, for the purposes of subsequent development, be re-designated as a side street lot line) unless all standards of the applicable zoning district are met based on the proposed change in street lot line designation.

### 3. Side Street Lot Line

*Any lot line that abuts a side street. Any street lot line that is not a primary street lot line is considered a side street lot line.*

### 4. Alley Lot Line

*Any lot line that abuts an alley. Even when a lot line qualifies as a rear lot line or side lot line, all lot lines that abut an alley are considered an alley lot line.*

### 5. Rear Lot Line

*Any lot line that does not abut a street or alley and is opposite and most distant from a primary street lot line.*

- a. A zoning lot may have no more than one rear lot line.
- b. In the case of a zoning lot that fronts two streets on opposite sides, a zoning lot may have no rear lot line.
- c. Where no lot line is clearly opposite to the primary street lot line or where there are multiple primary street lot lines, the lot line having the highest portion of its length serving as the rear lot line of abutting lots is the rear lot line.

### 6. Side Lot Line

*Any lot line other than a primary street, side street, rear, or alley lot line.*

### 7. Street Lot Line

*Any lot line that abuts a street. Street lot lines include all primary street lot lines and side street lot lines.*

### 8. Common Lot Line

*Any lot line shared by two or more zoning lots. All side and rear lot lines that do not abut a street or alley will be common lot lines.*

## D. Residential and Nonresidential Uses

### 1. Residential Uses

*Include all permitted uses listed in the residential category of the use table - see Sec. XX.XX.*

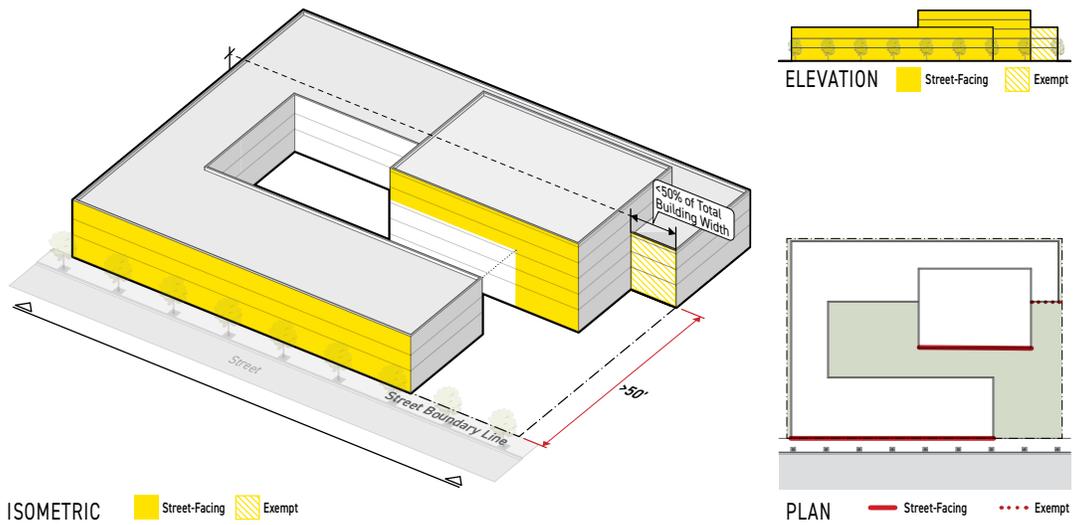
### 2. Nonresidential Uses

*Include all permitted uses not listed in the residential category of the use table - see Sec. XX.XX.*

## E. Street-Facing Building Facades

*The portions of a building facade (when projected parallel to the street) with no permanent structure located between the building facade and the primary or side street lot line.*

1. Building facades located more than 50 feet behind the primary or side street lot line are exempt from any street-facing requirements, provided the cumulative width of the exempted facade is no wider than 50% of the total building width.



## F. Yard Designation

### 1. General

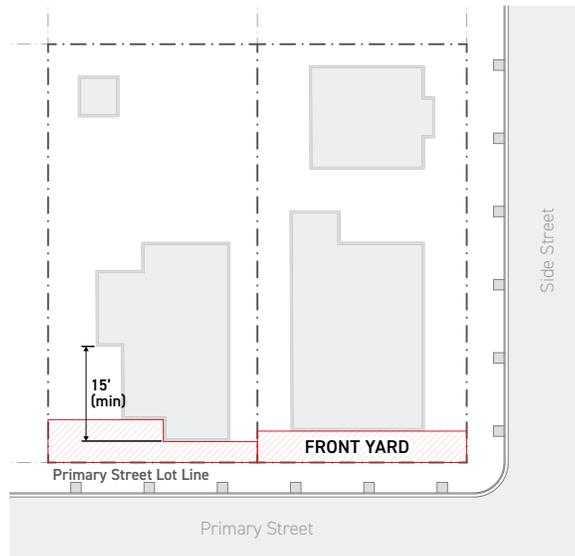
- a. Yards are designated on zoning lots only, yards are not designated on sublots.
- b. All portions of a zoning lot between the facade of a building and a property line will fall within one of the following yard designations: front yard, side street yard, side yard, or rear yard.
- c. No portion of a zoning lot may have more than one yard designation.
- d. Yard designations are determined in the following order: (1) front yard, (2) side street yard, if any; (3) rear yard, if any; and (4) side yards, if any.

### 2. Front Yard

*All portions of a zoning lot between a primary street lot line and a primary structure facing a primary street lot line extending the full width of the zoning lot.*

- a. A front yard does not include a building facade set back more than 15 feet from the primary building's street-facing facade.

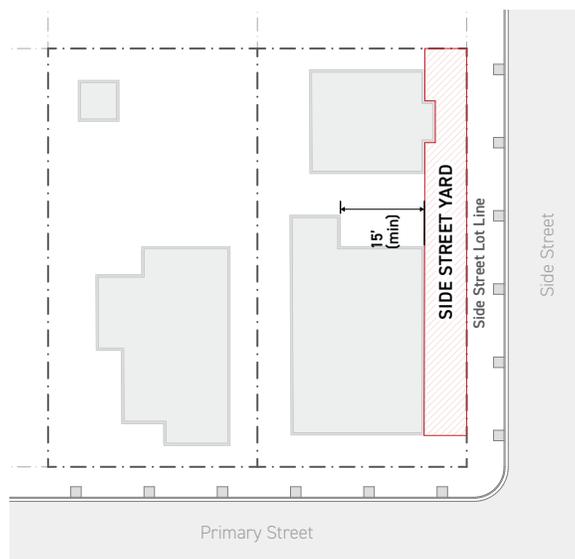
- b. Any portion of a zoning lot that is designated as a front yard may not be designated as any other yard.



### 3. Side Street Yard

All portions of a zoning lot between a side street lot line and a primary structure facing a side street lot line extending the full depth of the zoning lot.

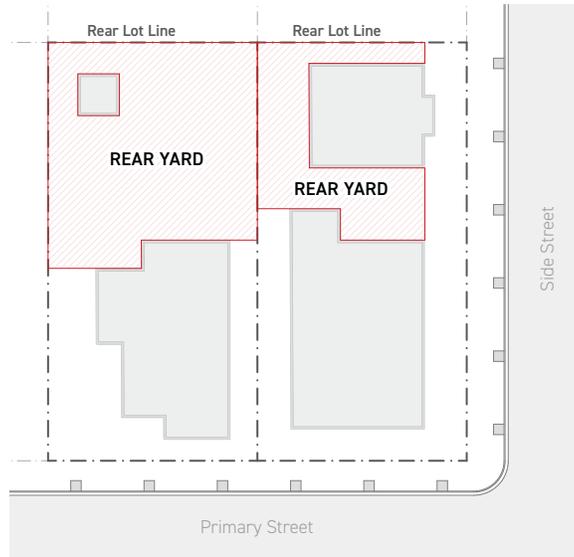
- a. A side street yard does not include any building facade set back more than 15 feet from the primary building's street-facing facade.
- b. For portions of the zoning lot where no primary structure abuts the side street yard, the side street yard includes only portions of the zoning lot included in the side street setback, see *Sec. XX, Building Setbacks*.
- c. A side street yard does not include any portion of a zoning lot that may be designated as a front yard.



**4. Rear Yard**

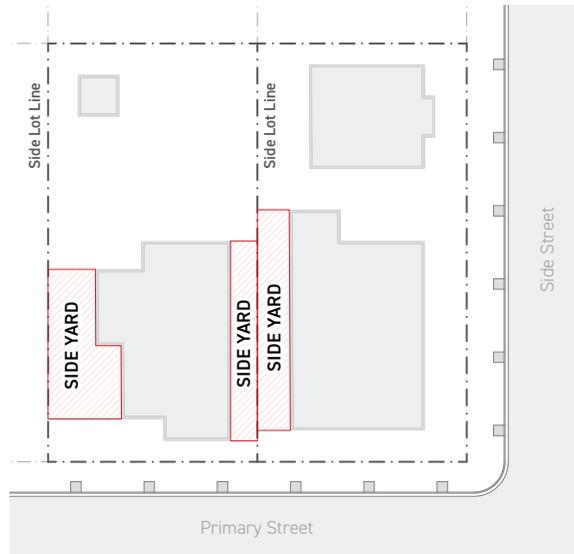
*All portions of a zoning lot between a rear lot line and a primary structure facing the rear lot line for the full width of the zoning lot.*

- a. A rear yard does not include any portion of a zoning lot that may be designated as a front yard or side street yard.
- b. Any portion of a zoning lot that is designated as a rear yard may not be designated as a side yard.



**5. Side Yard**

*All portions of a zoning lot between a side lot line and a primary structure. Portions of a zoning lot that do not meet the yard designation criteria for any other yard are designated as side yard.*



## 2.10.2. Size for Subdivision

### A. Area

*The total square footage within the boundaries of a zoning lot.*

#### 1. Intent

To help ensure newly established zoning lots are generally consistent with desirable development patterns in the neighborhood and within the same zoning district.

#### 2. Applicability

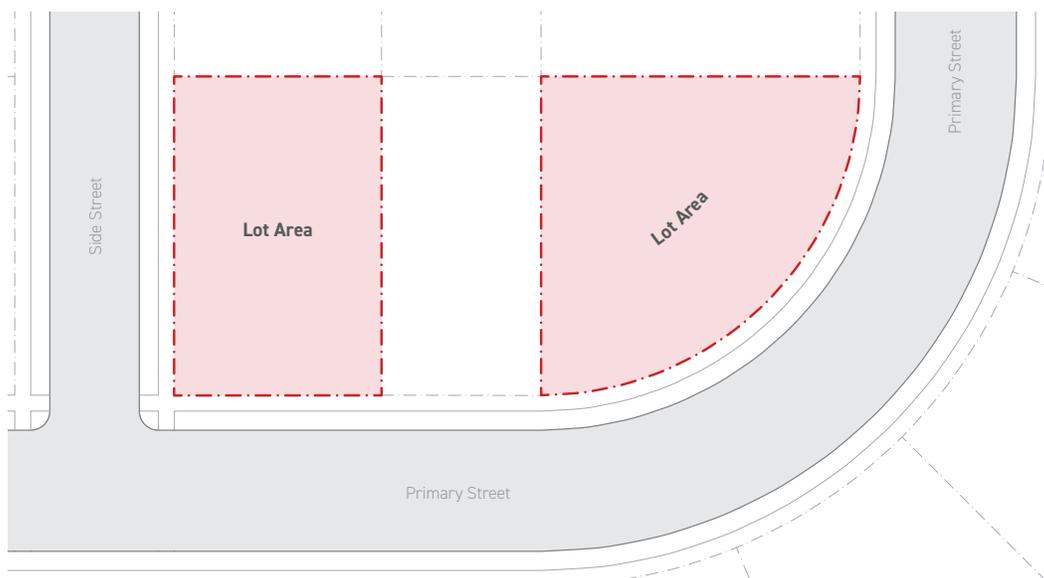
- The minimum zoning lot area requirement applies only to zoning lots lawfully created and recorded within the City's land records on or after the effective date of this Ordinance.
- Any use allowed in the zoning district may be established on a zoning lot lawfully created and recorded before the effective date of this Ordinance, regardless of size of the zoning lot, provided, that all other requirements of this Ordinance are met.
- The minimum zoning lot area requirement does not apply to sublots.

#### 3. Standards

Every zoning lot must have an area no less than the minimum zoning lot area required by the zoning district.

#### 4. Measurement

- Zoning lot area is measured horizontally as the total land area within the boundaries of a zoning lot.
- Zoning lot area includes all portions of a zoning lot allocated for required easements.
- Zoning lot area does not include portions of a zoning lot required for land dedicated to public use.



## B. Width

*The length of primary street lot lines bounding a zoning lot.*

### 1. Intent

To help ensure newly established zoning lots are generally consistent with the character of the neighborhood and other properties within the same zoning district, and to help ensure safe and adequate vehicular access to and from a zoning lot.

### 2. Applicability

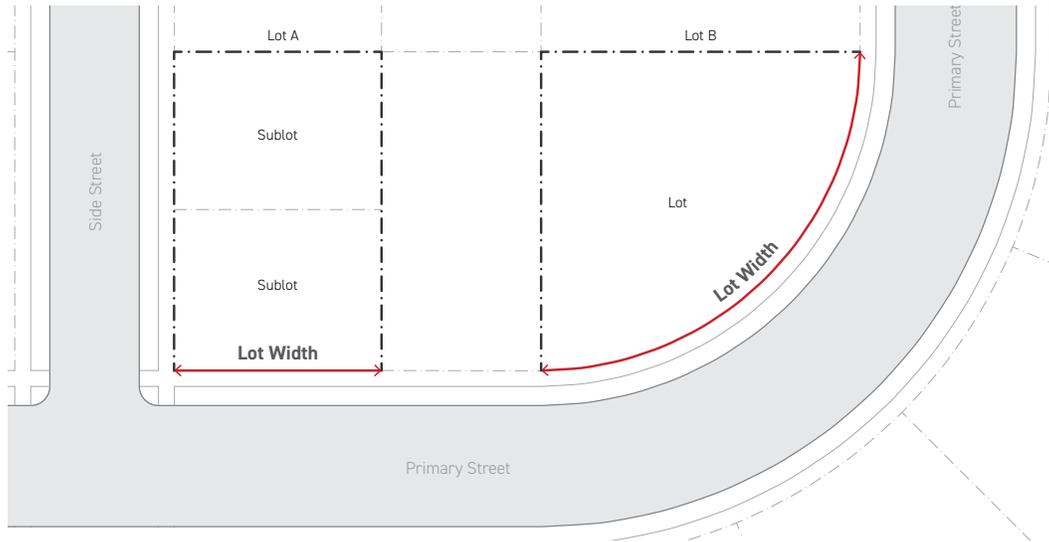
- a. The minimum width requirement applies only to zoning lots approved and recorded on or after the effective date of this Code.
- b. Any use allowed in the zoning district may be established on a zoning lot approved and recorded before the effective date of this Code, regardless of the width of the zoning lot, provided, that all other requirements of this Code are met.
- c. The minimum width requirement does not apply to sublots.

### 3. Standards

- a. No applicable zoning lot can have less than the minimum width required by the zoning district.
- b. Zoning lots having vehicular access from a primary street must meet the minimum width requirements for zoning lots with front vehicular access as specified by the zoning district.
- c. Zoning lots having vehicular access from any street other than a primary street, or not having vehicular access at all, must meet the minimum width required for zoning lots with other vehicular access specified by the zoning district.

#### 4. Measurement

- a. Zoning lot width is measured following the geometry of all primary street lot lines that bound the zoning lot.
- b. Where a zoning lot has 2 or more primary street lot lines facing different streets, all primary street lot lines must meet the minimum width standard.



### 2.10.3. Density

#### A. Dwellings per Zoning Lot

*The maximum number of dwelling units allowed on a zoning lot.*

##### 1. Intent

To ensure the number of dwelling units permitted on a zoning lot is aligned with the zoning district intentions and is physically compatible with the zoning lot itself.

##### 2. Applicability

The limitation on the number of dwelling units per zoning lot applies to all zoning lots.

##### 3. Standards

- a. A zoning lot cannot exceed the maximum number of dwelling units allowed by the zoning district, unless the zoning lot meets the criteria for the development bonus in accordance with [Sec. XX, Development Bonuses](#).
- b. Dwelling units may be detached or attached.

## 2.10.4. Coverage

### A. Building Coverage

The percentage of zoning lot area that is covered by buildings or structures.

#### 1. Intent

To preserve the open area and reduce the bulk of buildings on a zoning lot by limiting the amount of buildings or structures that cover a zoning lot.

#### 2. Applicability

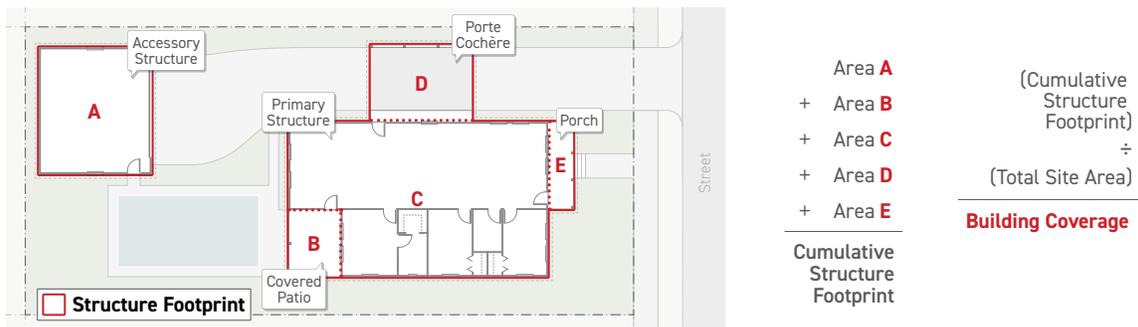
The maximum building coverage requirements apply to all zoning lots.

#### 3. Standards

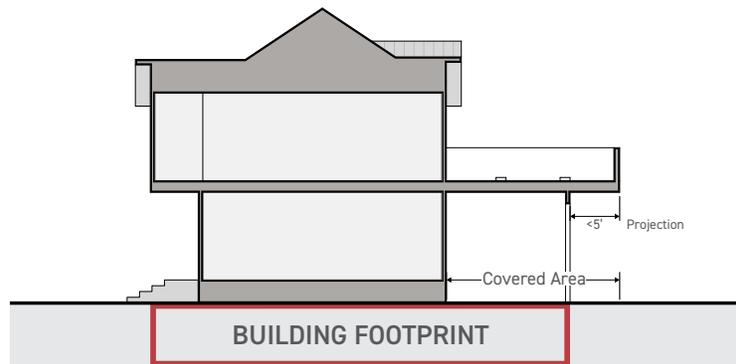
- a. Buildings or roofed structures on a zoning lot cannot have a cumulative area in excess of the maximum building coverage allowed by the zoning district.
- b. In Residential A (R-A), Residential B (R-B), and Residential C (R-C), the building coverage cannot exceed the maximum allowed based on the number of units provided on the zoning lot.

#### 4. Measurement

- a. Building coverage is measured cumulatively for the zoning lot, building coverage is not measured on individual sublots.
- b. Building coverage is measured by dividing the cumulative area of all buildings and roofed structures on the zoning lot by the zoning lot area.



- c. Building coverage does not include portions of architectural projections (including roof overhangs and projected balconies) that are less than 5 feet from the nearest wall, column, spanning beam, or other structural element carrying gravity loads to the ground.



## B. Outdoor Amenity Space

*An area on a zoning lot designated to be used for active or passive recreation, calculated as a percentage of total zoning lot area.*

### 1. Intent

- a. To ensure adequate recreation and open space areas for occupants, and to ensure such spaces are accessible, usable and safe.
- b. To encourage projects to provide high-quality, pedestrian-oriented, and publicly accessible gathering spaces along the primary street sidewalk.

### 2. Application

- a. The outdoor amenity space requirements apply to all zoning lots.
- b. Where the calculation of outdoor amenity space requires less than 400 square feet, no outdoor amenity space is required.

### 3. Standards

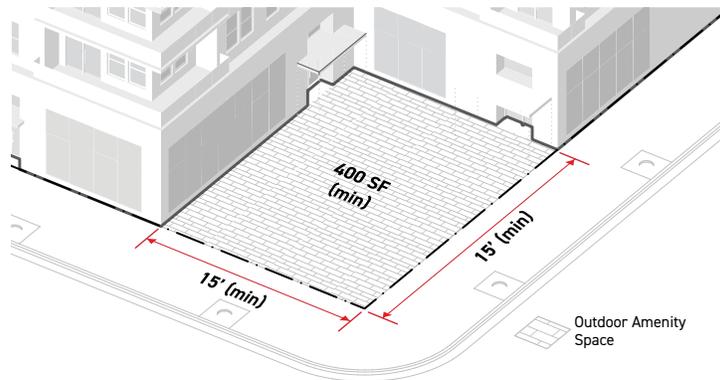
#### a. All Outdoor Amenity Space

- i. A zoning lot must provide outdoor amenity spaces having a cumulative area no less than the minimum percentage of outdoor amenity space specified by the zoning district.

- ii. The required outdoor amenity space must meet the standards of either *Sec. XX Common Outdoor Amenity Space* or *Sec. XX Pedestrian Outdoor Amenity Space*.

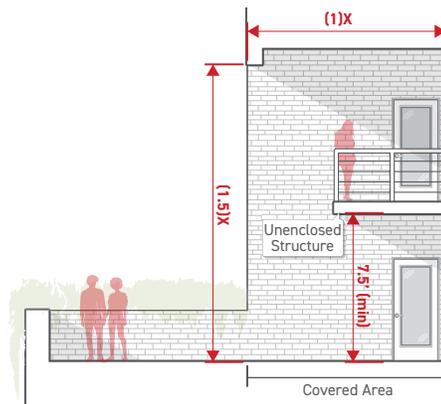


- iii. Outdoor amenity space may not be surrounded by walls for more than 2/3 of its perimeter.
- iv. Each outdoor amenity space must have a minimum area of 400 square feet, and no horizontal dimension of less than 15 feet, measured perpendicular to any boundary of the space.

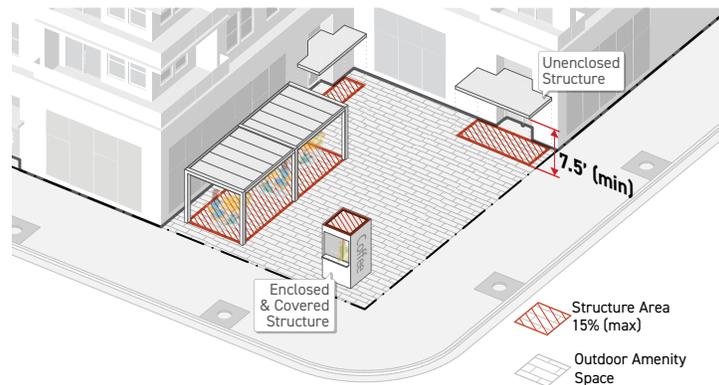


- v. No portion of the outdoor amenity space can have a clear height of less than 7.5 feet.

- vi. Outdoor amenity space that is roofed must have a minimum clear height of 1.5 times the depth of the roofed area.



- vii. Fully enclosed accessory structures and roofed accessory structures may be permitted within an outdoor amenity space provided they cover a cumulative area no greater than 15% of the continuous outdoor amenity space area.



**b. Common Outdoor Amenity Space**

*Type of Outdoor Amenity Space generally reserved for use by building occupants and may not be accessible to the public. Examples include roof decks, pool amenity areas, and courtyards.*

- i. Each square foot of common outdoor amenity space provided counts as 1 square foot of required outdoor amenity space.
- ii. Common outdoor amenity space must meet the requirements of **Sec. XX All Outdoor Amenity Space**.
- iii. Common outdoor amenity space must be made available to all occupants of a building, at no cost, during the hours of operation of the building. The space may not be permanently reserved or in any way exclude any occupant during the time it is required to be made available to all occupants.
- iv. Building facades adjacent to common outdoor amenity space must have a minimum transparency of 15% for each story.
- v. Common outdoor amenity space cannot be located in a required transition setback based on the requirements of **Sec. XX, Transitions**.

### c. Pedestrian Outdoor Amenity Space

*Type of Outdoor Amenity Space that is publicly accessible and located in close proximity to the public sidewalk. Examples include patios and plazas.*

- i. Each square foot of pedestrian outdoor amenity space provided counts as 2 square feet of required outdoor amenity space.
- ii. Pedestrian outdoor amenity space must meet the requirements of *Sec. XX All Outdoor Amenity Space*.
- iii. Pedestrian amenity space must abut and be directly accessible from the public sidewalk along the primary street. Pedestrian amenity space cannot be separated from this public sidewalk by any structure for more than 40% of the width of the amenity space, with the exception of a wall or fence 42 inches in height or the maximum height specified by the zoning district, whichever is less. The allowed wall or fence must provide openings for pedestrian access at least once every 35 feet.
- iv. The finished floor or ground surface of a pedestrian amenity space must be located either at the same grade as the sidewalk, or within the minimum and maximum ground floor elevations specified by the zoning district (*Sec. XX, Ground Floor Elevation*).
- v. All building facades facing pedestrian amenity space must meet the transparency (*Sec. XX, Transparency*) and entrances (*Sec. XX, Entrances*) standards required by the zoning district for the applicable primary or side street frontage.
- vi. A minimum of 20% of the total area of each pedestrian amenity space must be planted area and meet the requirements of *Sec. XX Landscape Standards*.
- vii. Mechanical and utility equipment cannot be located within a pedestrian amenity space, or between a pedestrian amenity space and an adjacent building facade.

## 4. Measurement

The minimum required outdoor amenity space is calculated by multiplying the total zoning lot area by the minimum outdoor amenity space percentage specified by the zoning district.

## 2.10.5. Building Setbacks

*The area on a zoning lot not intended for buildings and structures. Includes primary street setbacks, side street setbacks, side setbacks, rear setbacks, and alley setbacks.*

### A. Intent

To provide open areas on a zoning lot and help reduce the impact of buildings or structures on abutting sidewalks and neighboring development.

### B. Applicability

1. The building setback requirements apply to all zoning lots.
2. Building setbacks apply only to the perimeter edges of a zoning lot. Building setbacks do not apply to individual sublots that are part of a larger zoning lot.

### C. Standards

#### 1. Minimum Setbacks

All buildings and structures on a zoning lot must be located at or behind the minimum building setback specified by the zoning district, unless listed as an exception in *Sec. XX* below.

#### 2. Maximum Setbacks

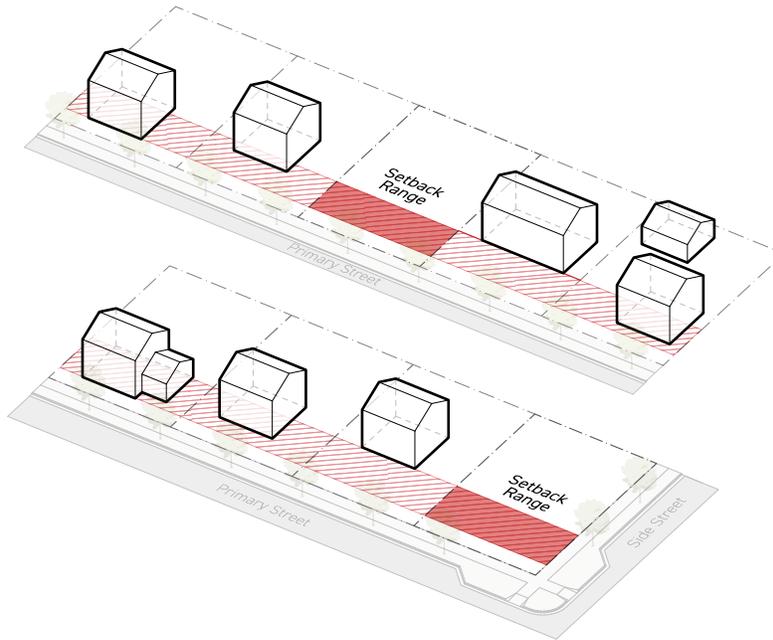
The area between the minimum and maximum street setbacks define the build-to zones. For requirements related to the build-to zones, see *Sec. XX, Build-To*.

#### 3. Existing Setback Range

When the zoning district specifies the primary street setback as “Existing Range”, the minimum and maximum primary street setback defining the build-to zone is modified as follows:

- a. The required primary street setback must be met within the range of existing primary street setbacks, no closer than the smallest setback in the range and no further than the largest setback in the range.
- b. On an interior zoning lot, the range of setbacks is determined by the 2 closest existing zoning lots in either direction along the block face.

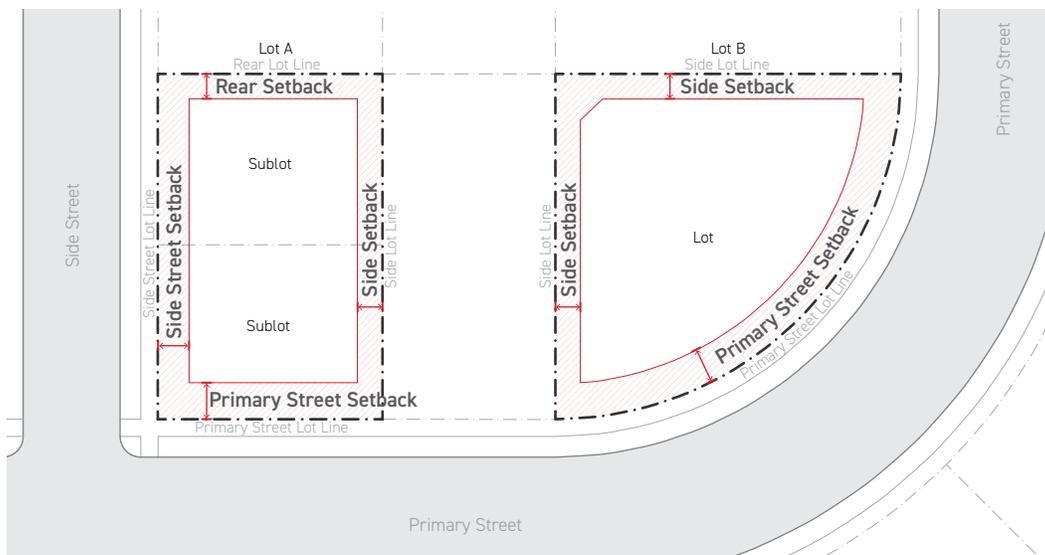
- c. On a corner zoning lot, the range of setbacks is determined by the 3 closest existing zoning lots along the block face.



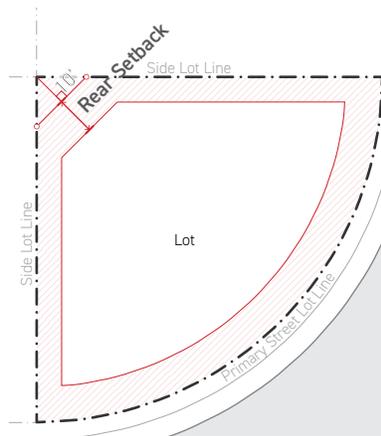
- d. If any zoning lot included in the setback range calculation has no dwelling unit on the front half of the zoning lot or the zoning lot is vacant, the zoning lot must be disregarded for the purpose of calculating the existing setback range.
- e. If the Zoning Administrator determines the existing setback range cannot be adequately determined, the setback range specified for the zoning district must be met.

**D. Measurement**

1. All building setbacks are measured perpendicular to the applicable lot line.
2. Where a lot line abuts an access easement, the setback may be measured from the interior edge of the access easement rather than the lot line.



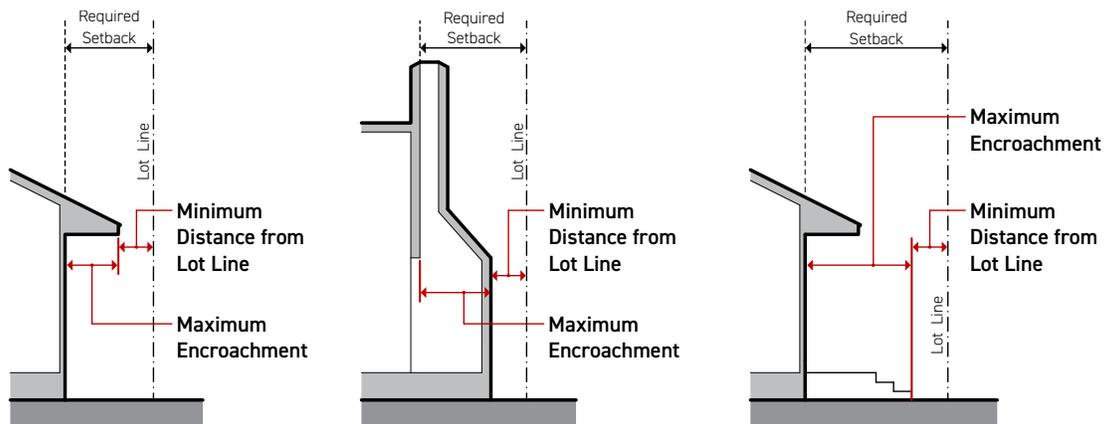
3. Primary street setback is measured from the primary street lot line.
4. Side street setback is measured from the side street lot line.
5. Rear setback is measured from the rear lot line
  - a. For determining the rear setback for a triangular or gore-shaped zoning lot, the rear lot line is determined based on a 10 feet wide line, parallel to the primary street lot line that intersects two side lots lines at its endpoints.
  - b. For instances where the primary street lot line is not straight, the rear lot line must be parallel to a line connecting the end points of the primary street lot line.



**E. Exceptions**

**1. Limited Encroachments**

The following are allowed to encroach beyond the building setback up to the minimum distance from the lot line specified below. The encroachments only apply when the zoning district’s setbacks are equal to or larger than the allowed encroachment setbacks specified below.



ALLOWED ENCROACHMENT

	Primary St. / Side St. Setback	Side / Rear Setback	Alley Setback
<b>Architectural Details</b>			
<i>Building elements attached to or integrated into the structure of a building not intended for human occupation, including elements designed for environmental benefits.</i>			
<i>Examples include: cornices, belt courses, sills, lintels, pilasters, pediments and chimneys, and solar shades</i>			
Encroachment (max)	2'	1.5'	2'
Distance from lot line (min)	0'	1.5'	1.5'
<b>Roof Projections</b>			
<i>Roof elements that overhang or cantilever beyond the footprint of the building.</i>			
<i>Examples: eaves, roof overhangs, gutters, awnings and canopies</i>			
Encroachment (max)	3'	1.5'	2'
Distance from lot line (min)	0'	1.5'	1.5'
<b>Unenclosed Structures (ground story)</b>			
<i>Unenclosed structures having all finished floors and ground surfaces more than 2.5 feet above grade and having a total structure height less than 15 feet.</i>			
<i>Examples: porches, decks, stoops, landing platforms, gazebos, trellises, arbors, pergolas</i>			
Encroachment (max)	8'	1.5'	0'
Distance from lot line (min)	0'	1.5'	same as district
<b>Unenclosed Structures (above ground story)</b>			
<i>Unenclosed structures having a total structure height of 15 feet or greater.</i>			
<i>Examples: balconies, upper-story light shelves, exterior stairways</i>			
Encroachment (max)	5'	3'	5'
Distance from lot line (min)	0'	3'	1.5'
<b>Enclosed Structures</b>			
<i>Enclosed structures that overhang or cantilever beyond the footprint of the building that have a cumulative length less than 25% of the width of the building facade, measured individually for each story.</i>			
<i>Examples: bay windows, sleeping porches, overhanging volumes</i>			
Encroachment (max)	2'	3'	0'
Distance from lot line (min)	0'	3'	same as district
<b>Mechanical/Electrical Equipment</b>			
<i>Examples: gas meters, electrical meters, water heaters, HVAC equipment, cisterns, wind turbines and solar panels</i>			
Encroachment (max)	not allowed	0'	0'
Distance from lot line (min)	same as district	1.5'	same as district
<b>Waste Receptacle Enclosure</b>			
<i>Examples: trash compactors, garbage, recycling and food waste and their associated screening</i>			
Encroachment (max)	not allowed	0'	0'
Distance from lot line (min)	same as district	10'	same as district
<b>Signs</b>	see Sec XX, Signs		

## 2. Unlimited Encroachments

The following can encroach into a required setback to the extent necessary to perform their proper function

- a. Accessibility ramps and lifts.
- b. Equipment related to public or utility operating systems, including related wires, conduits, and pipes. Examples include hydrants, transformers, utility cabinets, water utility devices, cable television, or phone boxes.
- c. Covered structures located entirely below grade. Examples include cellars, basements, storm water storage, and cisterns.
- d. Sidewalks, multi-use paths, ramps, driveways, patios, and decks 2.5 feet in height or less, measured from grade.
- e. Fences and walls.
- f. Plants. Examples include trees, shrubs, flowers, herbs, vegetables, grasses, ferns, mosses, and associated planters and raised planting beds, if applicable.
- g. Natural stormwater devices.
- h. Permanent or movable furniture. Examples include benches, tables, and bike and scooter parking racks.

## 2.10.6. Build-To

### A. Build-To Width

*The cumulative building width that occupies the build-to zone relative to the width of the site at the street lot line.*

#### 1. Intent

To regulate the placement of buildings along the public realm so that buildings frame the public realm with a consistent street wall.

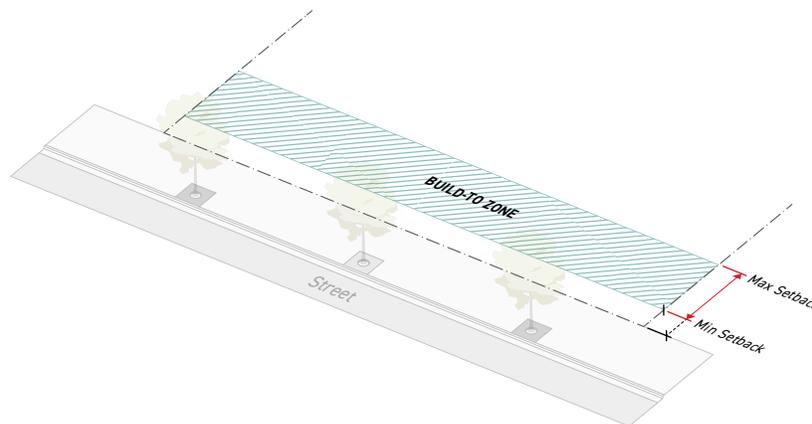
#### 2. Applicability

- a. The build-to width applies to all zoning lots.
- b. The build-to width does not apply to individual sublots that are part of a larger zoning lot.
- c. The build-to width requirements applies to the ground story of the building only. The ground story is determined according to *Sec. XX, Height*.

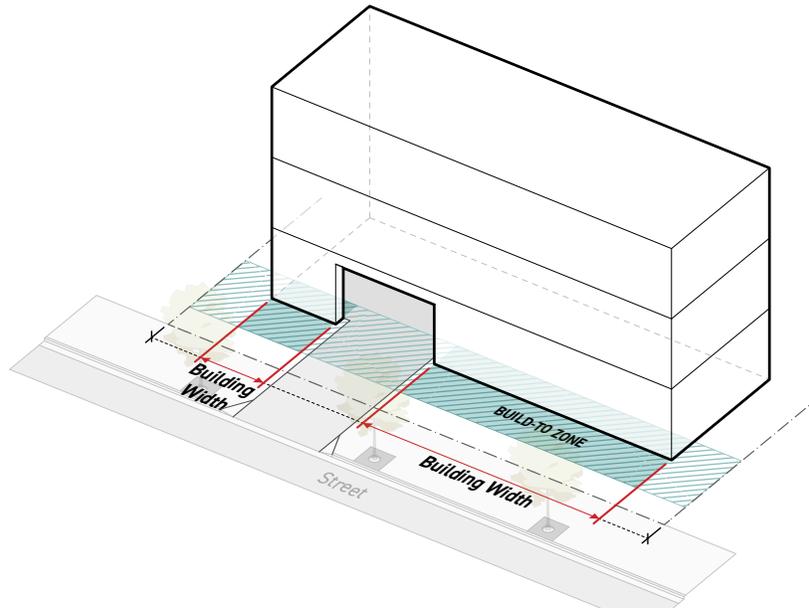
#### 3. Standards

##### a. General

- i. Buildings must be located within the build-to zone for no less than the minimum build-to width required in the zoning district.
- ii. The build-to zone is the area on the site between the minimum and maximum building setbacks, for the full width of the site. The build-to zone is measured perpendicular to the primary or side street lot line from the minimum street setback to the maximum street setback.



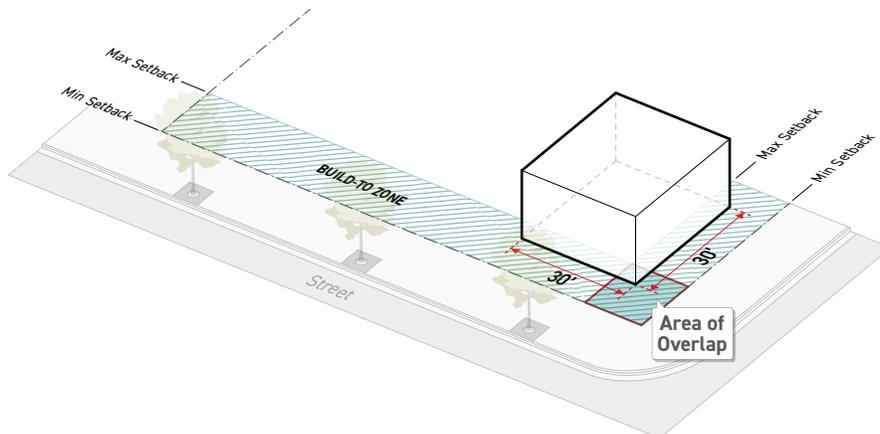
- iii. Portions of building width providing motor vehicle access to a vehicle use area through the ground story of a building does not qualify as building width in the build-to zone.



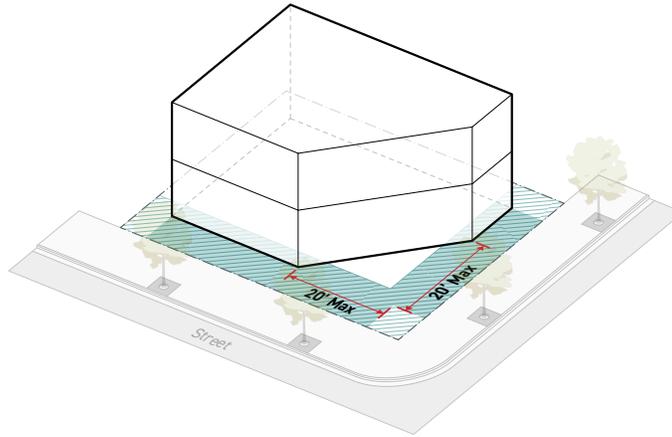
- iv. Once the minimum build-to width requirement has been satisfied, buildings and structures may occupy the area behind the maximum building setback.
- v. For zoning lots with existing nonconforming buildings, see requirements in **Sec. XX, Nonconformities.**

**b. Corner Lots**

- i. On corner zoning lots where both streets have build-to width requirements, a building must occupy the portion of the area where the two intersecting build-to zones overlap. The building must occupy the build-to zones for both streets lot lines for a minimum of 30 feet from the corner. The minimum requirement is measured starting at the edge of the building occupying the area of overlap and moving away from the corner, parallel to the street lot line. This building width counts toward the required build-to width for both street lot lines.



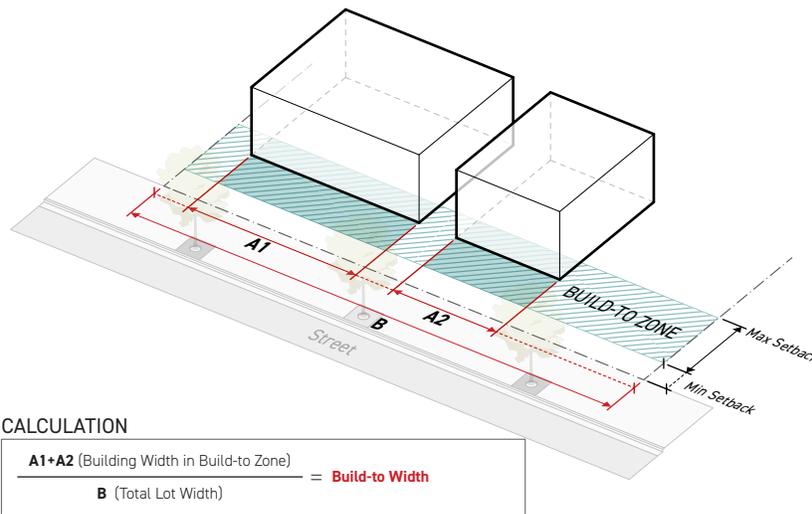
- ii. A chamfered corner no more than 20 feet in width along both street lot lines qualifies as a building width in the build-to zone even where it extends outside of the build-to zone. Chamfered corner width is measured parallel to the street lot line.



- iii. Corner lot standards do not apply when a pedestrian amenity space occupies the same portion of the area of overlap and is being used as a pedestrian amenity allowance, see requirements in **Sec. XX, Pedestrian Amenity Allowance**.

**4. Measurement**

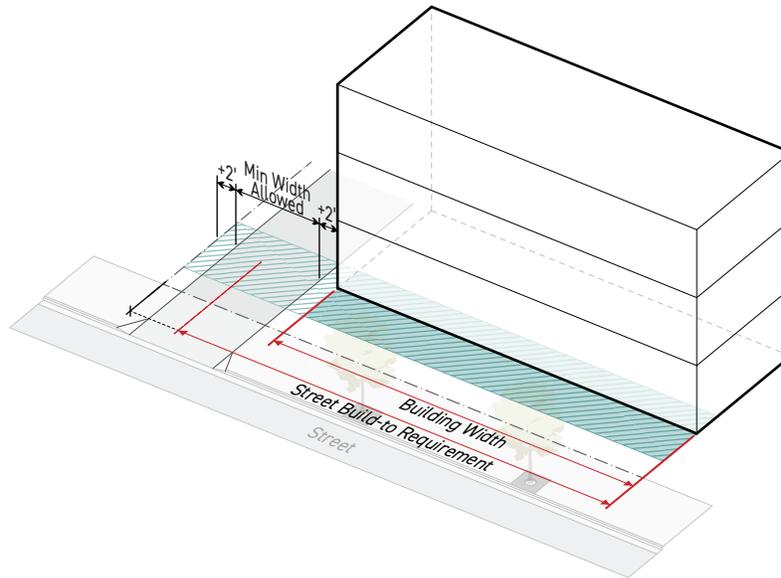
- a. Build-to width is calculated separately along each street lot line where a build-to width is required.
- b. Build-to width is a percentage measured as the sum of all building widths occupying the build-to zone, divided by the total zoning lot width.



**5. Exceptions**

- a. Open space meeting **Sec. XX, Pedestrian Amenity Space**, counts toward the minimum build-to width requirement in accordance with **Sec. XX, Pedestrian Amenity Allowance**.

- b. Where vehicular access is permitted to be taken through the street lot line and providing access prevents a building from meeting the build-to width requirement, a reduced build-to width may be allowed, provided the portion of the zoning lot in the build-to zone used for vehicle access is no wider than the minimum required driveway width plus an additional 4 feet of width for clearance. See *Sec. XX, Vehicle Access*.



**B. Pedestrian Amenity Allowance**

*The amount of pedestrian amenity space in the build-to zone that is allowed to count toward the build-to width requirement.*

**1. Intent**

To promote the creation of active, human-scaled outdoor spaces as an extension of the sidewalk, providing visual interest and vitality to the amenity space as well as the public realm. The pedestrian amenity allowance provides flexibility for building and site design while maintaining standards essential for ensuring all projects contribute to defining a consistent and legible street wall.

**2. Applicability**

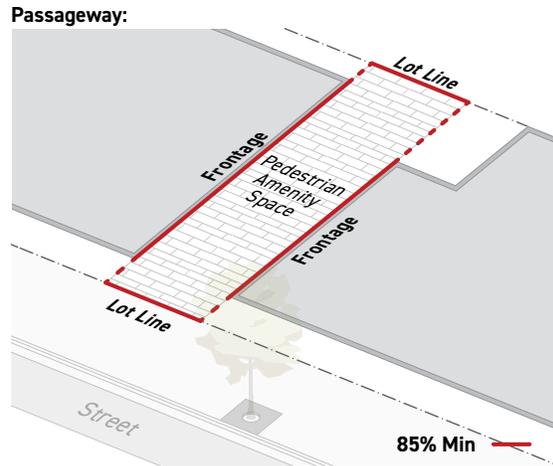
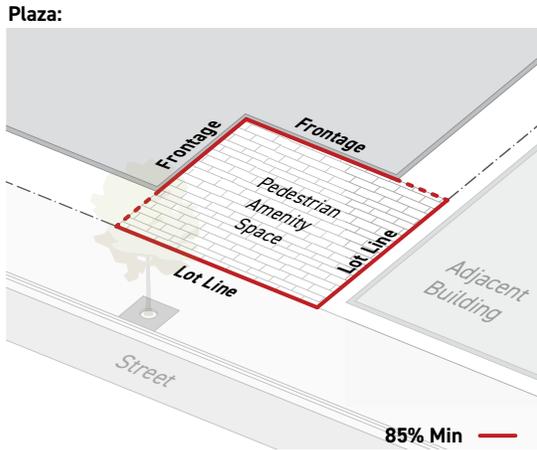
- a. Portions of buildings required to meet the build-to width requirement in *Sec. XX, Build-To*.
- b. Portions of the zoning lot between the building and the street lot line for the width of the pedestrian amenity space provided.

**3. Standards**

Pedestrian amenity space may be provided as a substitute for a maximum of 25% of the built-to width requirement, provided the following standards are met:

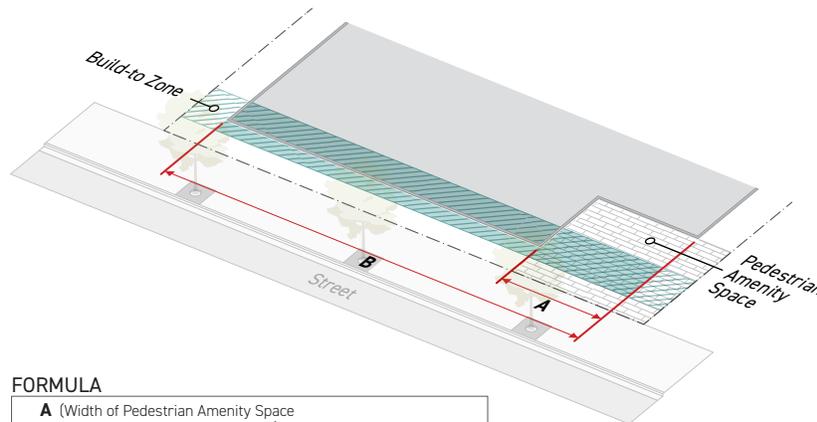
- a. Meets the standards of *Sec. XX, Pedestrian Amenity Space*.
- b. Pedestrian amenity spaces may be wider than the maximum 25% allowed, however, any part of the pedestrian amenity space width that exceeds this allowance does not count toward the build-to width requirement.

- c. A minimum of 85% of the pedestrian amenity space perimeter must abut either a lot line or a facade meeting the standards of the zoning district specified for the abutting street lot line. Where pedestrian amenity space abuts multiple street lot lines, the standards specified for the street lot line that abuts the pedestrian amenity space for the greatest length applies.



#### 4. Measurement

Pedestrian amenity allowance is measured as the cumulative width of pedestrian amenity spaces occupying the build-to zone provided as a substitute, divided by the required build-to width.



**FORMULA**

<b>A</b> (Width of Pedestrian Amenity Space Counting as Street Build-to width)	=	<b>Pedestrian Amenity Allowance (%)</b>
<b>B</b> (Required Street Build-to width)		

## 2.10.7. Transitions

*Additional setback, a buffer requirement and reduced height allowance when certain districts abut specifically defined districts with a lower height intensity.*

For requirements see *Sec. XX, Transitions.*

[Standards for transitions will be included in the Development Standards article]

### 2.10.8. **Parking Location**

*Where on-site parking is or is not allowed between the building and the street.*

#### A. **Intent**

To minimize the impact of motor vehicles dominating areas in the public realm and to promote a comfortable, safe, engaging, and attractive streetscape with active uses and landscaping along the public realm.

#### B. **Applicability**

The parking location standards apply to all zoning lots.

#### C. **Standards**

1. When provided, on-site parking is only allowed in a yard as specified by the zoning district.
2. When parking is not allowed in a front yard or side street yard, no portion of a designated on-site parking space is allowed in the yard. A driveway that meets the requirements of *Sec XX, Vehicle Access* is allowed in the yard, however, it cannot be used for permanent on-site parking.
3. When parking is allowed in a side street yard, parking is only allowed on a driveway that meets the requirements of *Sec XX, Vehicle Access*.
4. In a side yard, a driveway is allowed in one side yard only and the continuation of that side yard into the front yard or rear yard to the zoning lot line.
5. See *Sec XX* for additional parking and parking area requirements.

#### D. **Measurement**

For determination of a front yard, side street yard, side yard or rear yard, see *Sec. XX, Yards*.

## 2.10.9. Height

### A. Overall Height

*The vertical dimension of a building or structure measured in feet and stories.*

#### 1. Intent

To provide adequate light, air, safety, and to protect the character of an area and the interests of the general public.

#### 2. Applicability

Overall height limitations apply to all zoning lots in all zoning districts.

#### 3. Standards

No building, portion of a building, or structure can exceed the maximum number of feet or stories allowed in the zoning district, unless:

- a. The building, portion of a building, or structure is listed as an encroachment in *Sec. XX, Exceptions*.
- b. The development site meets the criteria for the height bonus in accordance with *Sec. XX, Development Bonuses*.

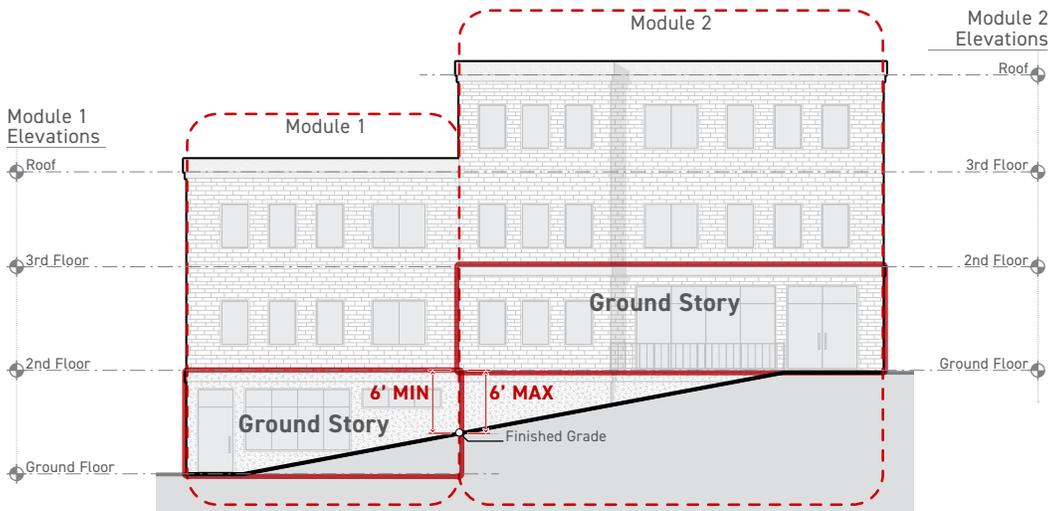
#### 4. Measurement

##### a. Height in Stories

- i. Height in stories is measured as the number of stories above finished grade. The ground story and all upper stories are included in the calculation of maximum height in stories.
- ii. A story is the part of a building included between the finished floor of one floor and the finished floor of the next floor above, or if there is no floor above, then the bottom of structure for the roof above. A mezzanine does not count as a story.

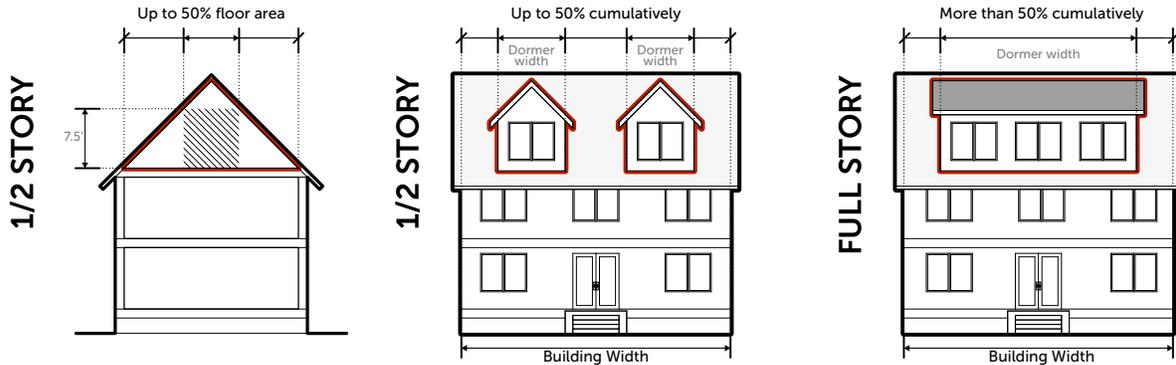
iii. The ground story (or first floor) of a building is determined as follows:

- 1) The ground floor facade that is exposed a minimum of 6 feet above the abutting finished grade along the full width of the applicable building facade.
- 2) The finished floor of a ground story can be no higher than 6 feet above the abutting finished grade for any portion of the building perimeter. This may mean the elevation of the ground story may change within the same building.



- iv. An occupiable space in a building located below the ground story is a basement. Basements are not included in the calculation of maximum height in stories.
- v. Any story located above the ground story is an upper story.
- vi. The topmost story of a building is not counted as a full story and is counted as a half story when the following standards are met:
  - 1) It is completely within the roof form of the building and less than 50% of the floor area has a clear height of more than 7.5 feet, measured from the finished floor to the finish ceiling; and

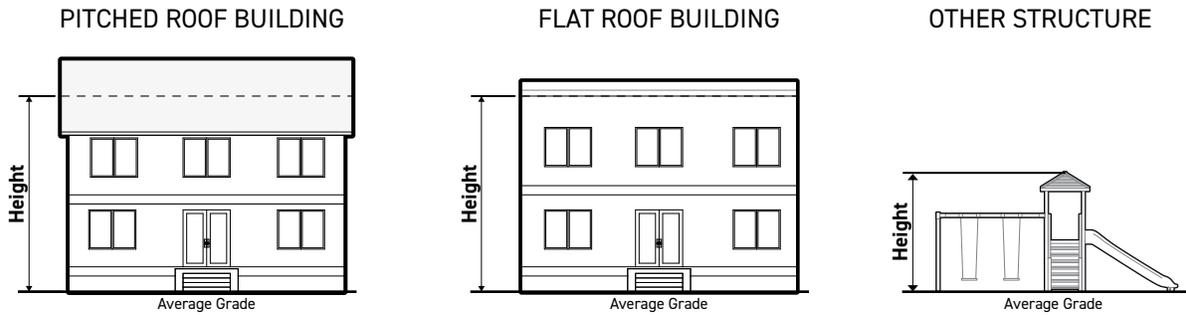
2) Dormers do not exceed more than 50% of the front, rear, or side building width.



**b. Height in Feet**

Height in feet is the number of feet from average grade to:

- i. The mid-point of the roof, for a building with a roof having a pitch greater than 4:12;
- ii. The top of the roof deck, for a building with a roof having a pitch of 4:12 or less; and
- iii. The topmost point of the structure, for all other structures.



**c. Average Grade**

i. Average grade is calculated by averaging the highest and lowest elevation of the sidewalk in front of the primary street-facing building facade.



ii. Where the sidewalk is more than 5 feet from the primary street-facing building facade, average grade is calculated by averaging the highest and lowest elevation within 5 feet of the primary street-facing building facade.

- iii. Large buildings and those developed on sites with significant topographic variation may calculate average grade independently for each building module that steps up or down the slope.

**5. Exceptions**

The following encroachments are allowed beyond the maximum height limit, as specified below:

	ALLOWED ENCROACHMENT	
	Base Height	Bonus Height
<b>Architectural Elements</b>		
<i>Attached to or integrated onto the top of a building, not intended for human occupation. Examples: steeples, spires, belfries, cupolas, domes, flagpoles and lighting</i>		
Encroachment (max)	3'	5'
Setback from roof edge (min)	1.5'	3'
<b>Safety Barriers</b>		
<i>Used for safety, screening or protection. Examples: fencing, walls, parapets, railings and stairs</i>		
Encroachment (max)	6'	6'
Setback from roof edge (min)	0'	0'
<b>Vertical Circulation</b>		
<i>Floor area used only for building circulation and rooftop access. Examples: elevator room (and associated equipment) and stairway access to roof</i>		
Encroachment (max)	10'	10'
Setback from roof edge (min)	5'	5'
<b>Unenclosed Structures</b>		
<i>Attached to or integrated onto the roof of a building, intended for human shelter or activity. Examples: shade structures, cabanas, pergolas, rooftop bar, outdoor dining, permanent seating, beehives, sports courts and cooking facilities</i>		
Encroachment (max)	8'	8'
Setback from roof edge (min)	5'	5'
<b>Mechanical/Electrical Equipment</b>		
<i>Supported by a roof related to public or privately-operated systems, including related wires, conduits, pipes and visual screens. Examples: HVAC equipment, cisterns, water tanks, wind turbines, solar panels, solar water heaters, exhaust ducts, smokestacks, satellite dishes, ventilation fans, chimney, flues, vent stacks, and generators</i>		
Encroachment (max)	3'	5'
Setback from roof edge (min)	3'	3'
<b>Flatwork</b>		
<i>Objects 2.5 feet in height or less. Examples: decking, walkways, patios</i>		
Encroachment (max)	2.5'	2.5'
Setback from roof edge (min)	1'	1'
<b>Vegetation</b>		
<i>Living organisms, absorbing water and organic substances through its roots and synthesizing nutrients. Examples: trees, shrubs, flowers, herbs, vegetables, grasses, ferns, mosses and associated planters and raised planting beds</i>		
Encroachment (max)	unlimited	unlimited
Setback from roof edge (min)	1'	1'
<b>Signs</b>		
	see Sec. XX, Signs	

**B. Side Wall**

*The vertical dimension of the wall of a building or structure, supporting the roof structure.*

**1. Intent**

To protect the scale and character of development in traditional neighborhoods.

**2. Applicability**

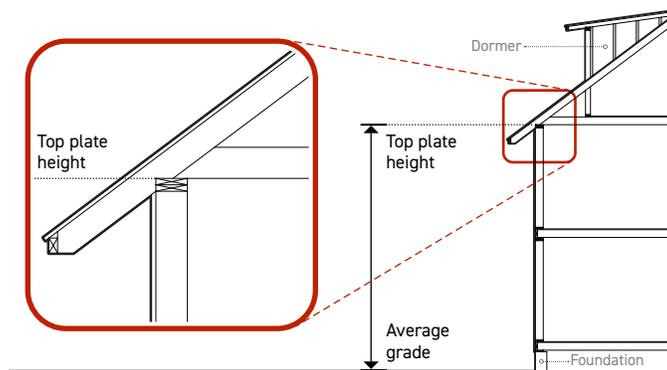
Side wall height limitations apply to all zoning lots in Residential A (R-A) and Residential B (R-B) zoning districts.

**3. Standards**

Side wall height cannot exceed the maximum height specified by the zoning district.

**4. Measurement**

Side wall height is measured from average grade to the top plate of the building.



## 2.10.10. Massing

### A. Building Width

*The horizontal width of a building on a zoning lot, parallel to the street lot line.*

#### 1. Intent

- a. To promote fine-grained patterns of development and prevent long buildings that are significantly out of context with traditional patterns by breaking wide buildings into multiple, clearly distinguished building widths.
- b. To encourage larger projects to provide open space for pedestrians and recreation.

#### 2. Applicability

- a. Building width requirements apply to all street-facing building facades.
- b. Building width requirements apply only to portions of buildings located above the maximum ground floor elevation (Sec. XX) required by the zoning district.

#### 3. Standards

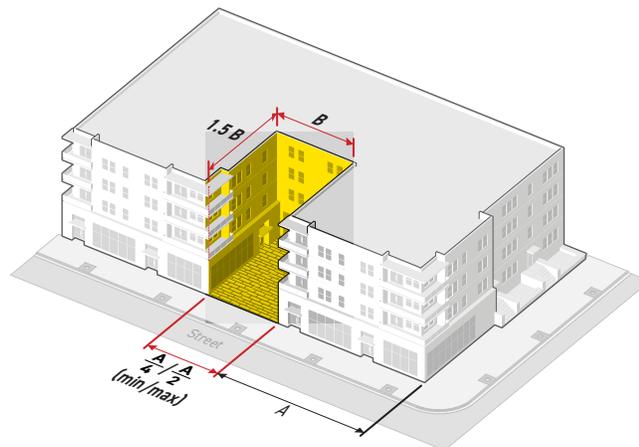
##### a. General

- i. No building located on a zoning lot can be wider than the maximum building width allowed by the zoning district.
- ii. Two buildings can abut one another provided that they have no shared components and are structurally independent from one another.

##### b. Open Space as Building Break Alternative

An open space meeting the following standards may be used to establish a continuous structure as separate buildings for the purpose of meeting a maximum building width requirement:

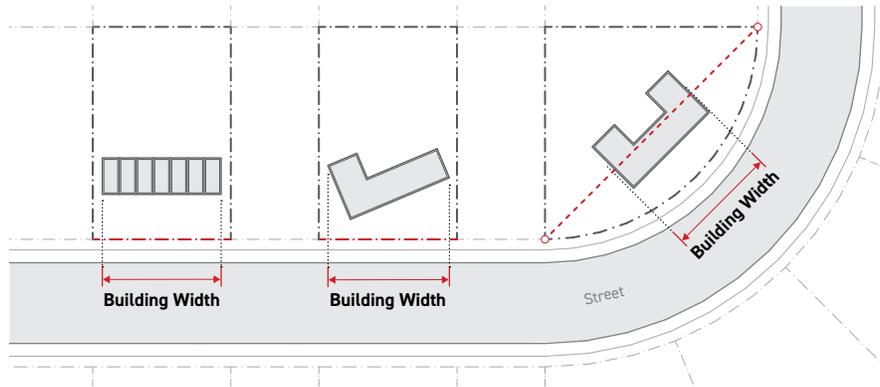
- i. The width of the open space can be no more than  $\frac{1}{2}$  the width of the widest adjacent building width provided and no less than  $\frac{1}{4}$  the width of the widest adjacent building width provided.
- ii. The depth of the open space must be at least 1.5 times the width of the open space.



iii. The open space must meet the standards in *Sec. XX, Outdoor Amenity Space*.

**4. Measurement**

Building width is measured horizontally and parallel to each abutting primary street or side street lot line from one end of a building to the opposite end.



**B. Active Depth**

*The horizontal depth of a building that must contain active uses.*

**1. Intent**

To help minimize the impact of inactive spaces on the public realm and to promote a comfortable, safe, engaging, and attractive build environment.

**2. Applicability**

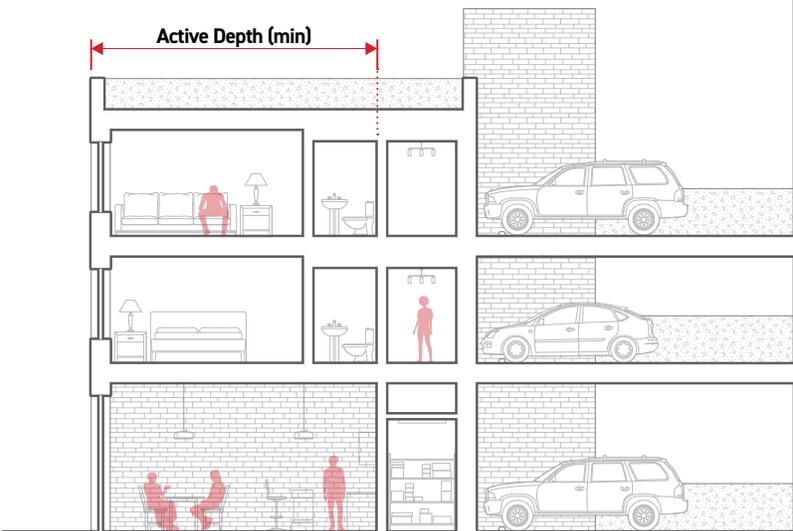
- a. Active depth standards apply to the portions of a building used to meet the minimum build-to width requirement. See *Sec. XX, Build-To*.
- b. On primary streets, the active depth applies to all stories.
- c. On side streets, the active depth requirement applies to the ground story only.

**3. Standards**

- a. Applicable portions of a building must provide the minimum active depth required by the zoning district.
- b. No more than 20% of the floor area of the required active depth can be used for inactive uses such as storage, hallways, stairwells, elevators, and equipment rooms.
- c. Parking spaces and motor vehicle use areas are not allowed in any portion of the required active depth.

4. Measurement

Active depth is measured from the front building facade inward to the interior of the building.



## 2.10.11. Ground Story

### A. Story Height

*The floor-to-floor height of the story of a building having its finished floor elevation nearest to finished grade.*

#### 1. Intent

To promote high-quality ground-story spaces that are adaptable and appropriate to their intended use and surrounding context.

#### 2. Applicability

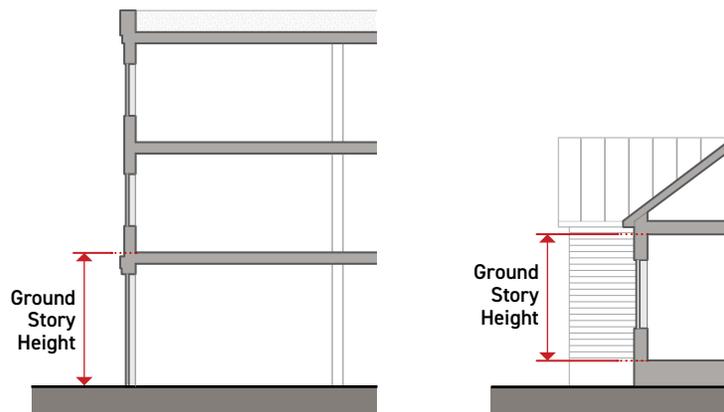
- a. Ground story height standards apply to all buildings that contain habitable space on the ground story. The ground story is determined according to *Sec. XX, Height*.
- b. Where a zoning district regulates ground story height differently for residential and nonresidential uses, residential standards apply to all residential uses, and nonresidential standards apply to nonresidential uses.

#### 3. Standards

The ground story height can be no lower than the minimum ground story height required by the zoning district.

#### 4. Measurement

- a. Ground story height is measured from the top of the finished floor of the ground story to the top of the finished floor of the story above.
- b. Where there is no story above, ground story height is measured from the top of the finished floor to the bottom of the roof structure above.



## B. Finished Floor Elevation

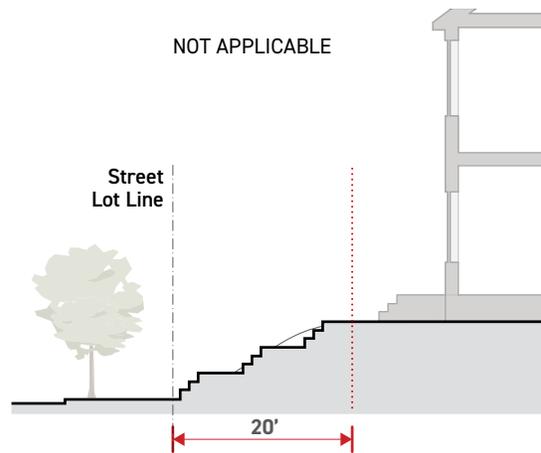
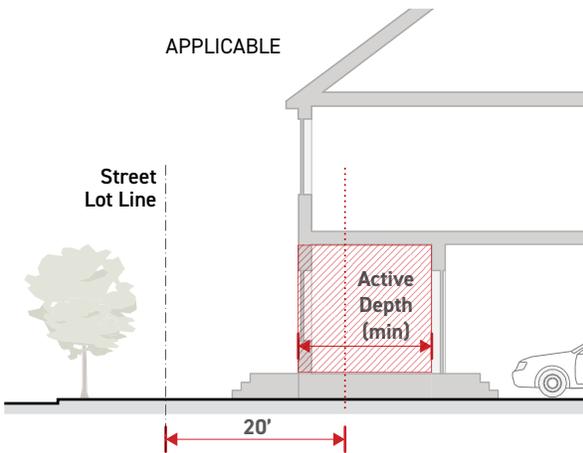
The height of the finished floor associated with the story of a building having its finished floor elevation nearest to finished grade.

### 1. Intent

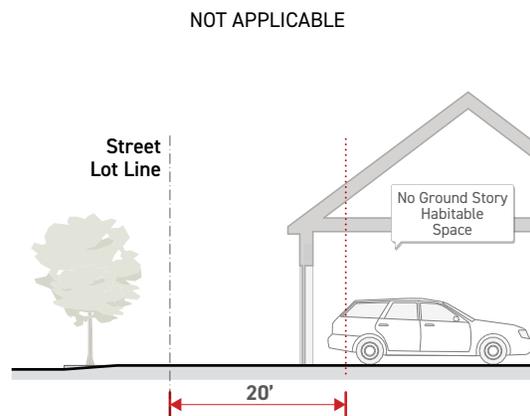
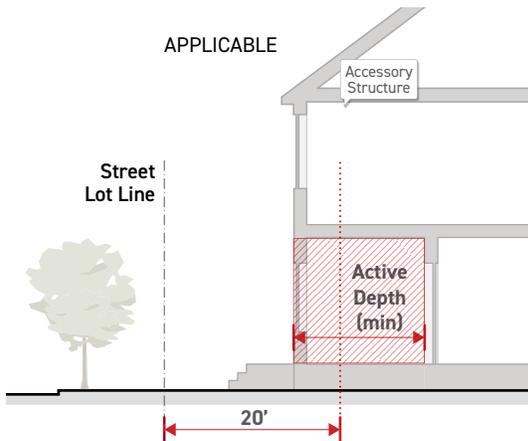
To promote “eyes on the street”, increase the perception of safety, and encourage visual connections between the public realm and the exterior of the building.

### 2. Applicability

- The finished floor elevation standards apply to all buildings that contain habitable space on the ground story and that are located within 20 feet of a primary street or side street lot line. The ground story is determined according to *Sec. XX, Ground Story*.
- Where a zoning district regulates finished floor elevation differently for residential and nonresidential uses, residential standards apply to all residential uses, and nonresidential standards apply to nonresidential uses.
- Where a zoning district regulates active depth, the finished floor elevation standards apply only to the required ground floor active depth.



- The finished floor elevation standards do not apply to accessory structures, unless the ground story of the accessory structure contains habitable space for a dwelling unit.

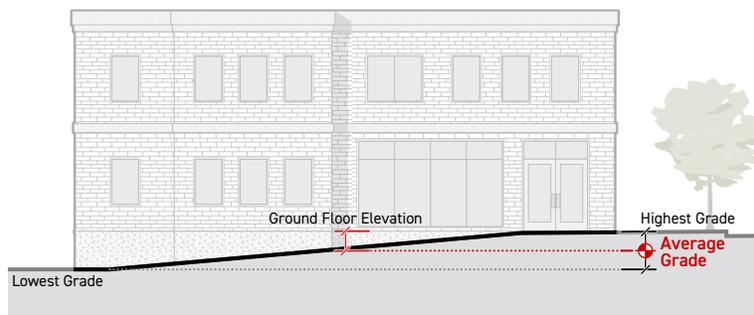


### 3. Standards

- a. All applicable ground stories must have a finished floor surface meeting the following standards:
  - i. An elevation no lower than the minimum finished floor elevation required by the zoning district.
  - ii. An elevation no higher than the maximum finished floor elevation required by the zoning district.
- b. Finished floor elevation for nonresidential floor area in a residential building, such as a lobby, gym, or office, may be reduced to 0 feet.

### 4. Measurement

Finished floor elevation is measured from average grade to the top of the finished floor of the ground story. On corner sites, for the purpose of determining finished floor elevation, average grade must be established independently for each street-facing building facade. Average grade is measured according to *Sec. XX, Average Grade*.



## 2.10.12. Transparency

### A. Ground Story and Upper Story Transparency

The amount of transparent area on a building facade.

#### 1. Intent

To ensure projects are designed with ground story windows that provide visual interest along the street by encouraging visual connections between the sidewalk and the interior of the building, and upper story windows that contribute to the established architectural character of surrounding neighborhoods or districts.

#### 2. Applicability

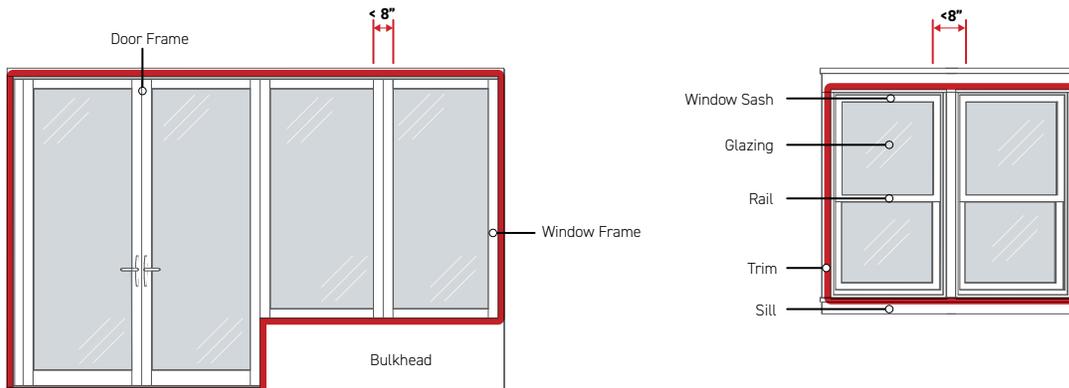
Ground story and upper story transparency standards apply to primary and side street-facing building facades only. The ground story is determined according to *Sec. XX, Height*. Any additional stories above the ground story are to be considered an upper story.

#### 3. Standards

- a. Applicable ground and upper story building facades must meet the minimum transparency of the zoning district.
- b. To be considered transparent area, window and door glazing must meet the following requirements:

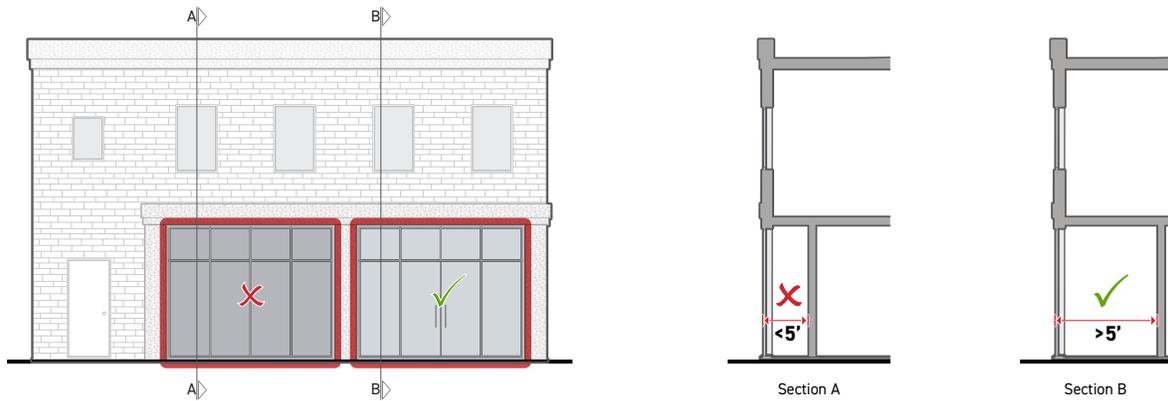
	Visible Light Transmittance	External Reflectance
Ground story	More than 60%	Less than 20%
Upper story	More than 30%	Less than 40%

- c. Muntins, mullions, window sashes, window and door frames, or window and door trim that are integral to window and door assemblies that are less than 8 inches wide may be considered transparent when calculating required percentages.

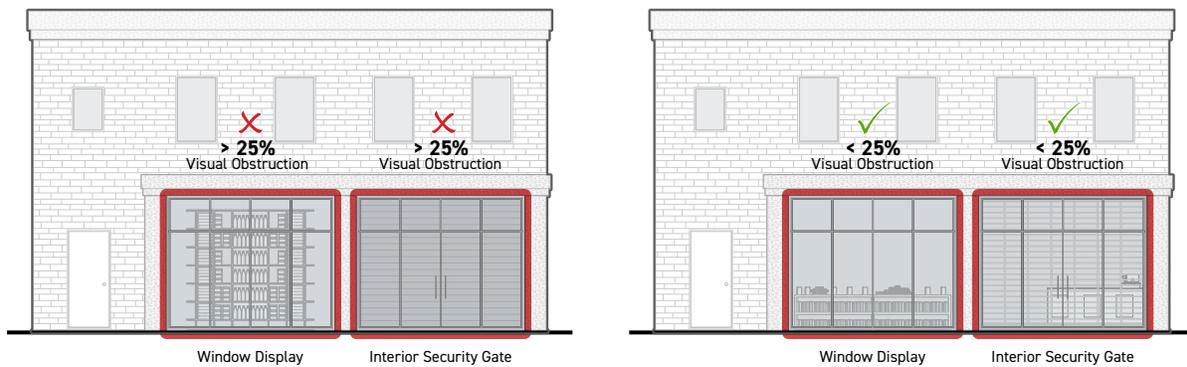


- d. Windows and doors used to meet the transparency requirements may be temporarily covered by operable window treatments, such as curtains or blinds.

- e. Windows and doors obscured by fixed exterior facade screens may count toward transparent area, provided no more than 25% of the total transparent area is covered for any individual window or door opening counting toward transparent area.
- f. Interior walls and other permanent interior visual obstructions cannot be located within 5 feet of the window or door opening used to meet the transparency requirement.



- g. Ground story windows and doors obscured by interior security gates, window signs, and window displays located less than 5 feet from the window opening may count toward transparent area, provided no more than 25% of the total transparent area is covered for any individual window or door opening counting toward transparent area.

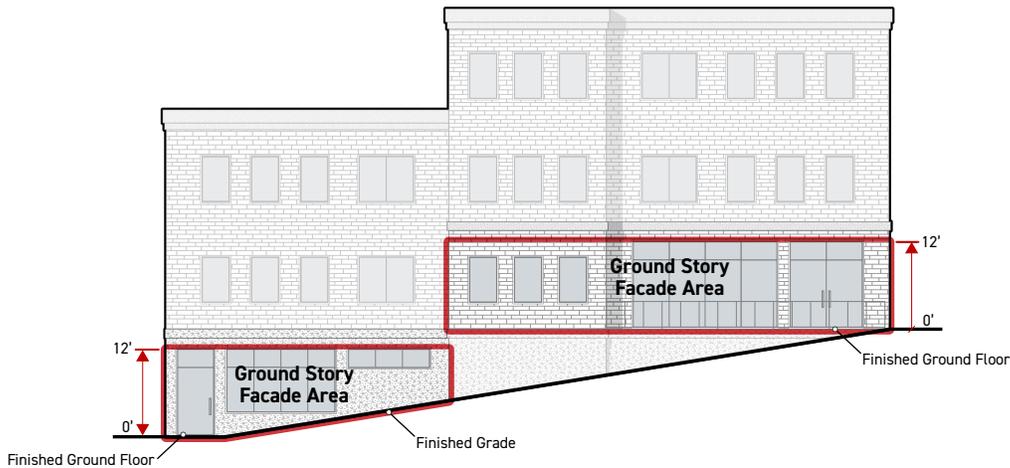


### 4. Measurement

#### a. Ground Story

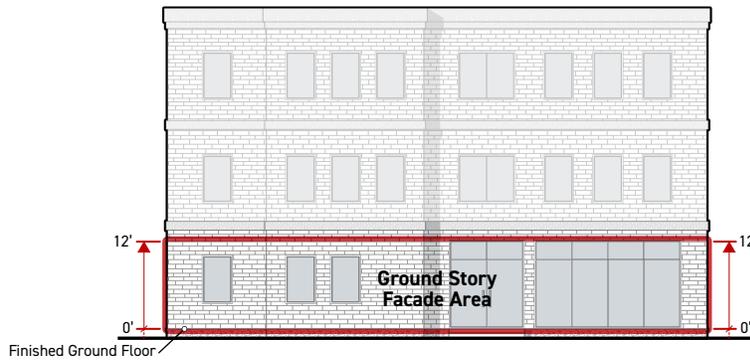
##### i. General

- 1) Ground story transparency is measured as a percentage calculated as the sum of all facade area meeting the measurement requirements for transparency, divided by the total applicable facade area.
- 2) No portion of a ground story located below finished grade is included in ground story facade area.



##### ii. Commercial Ground Story Transparency

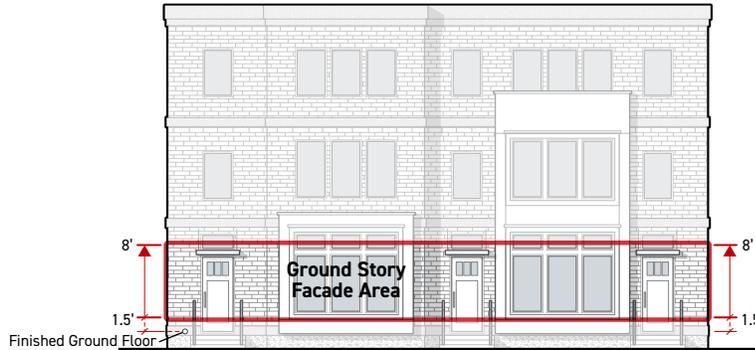
- 1) For the purpose of calculating transparency, commercial ground story facade area is measured between 0 and 12 feet above the top of the ground story finished floor elevation.



- 2) If the ground story height is less than 12 feet, ground story facade area is measured between the top of the finished floor of the ground story and the top of the finished floor of the story above. When there is no story above, it is measured to the bottom of the roof structure above.

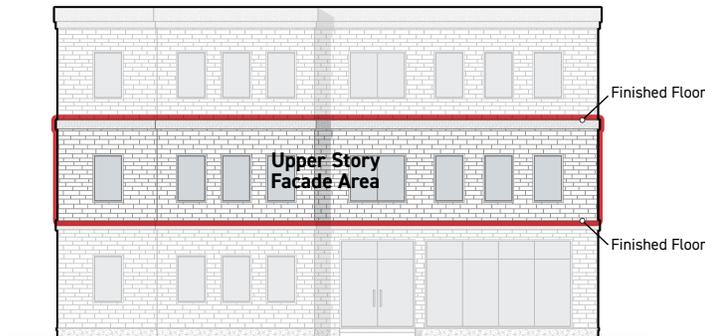
iii. Residential and Non-Commercial Ground Floor Transparency

Ground story facade area is measured between 1.5 and 8 feet above the top of the ground story finished floor elevation.



b. Upper Stories

- i. For the purpose of calculating upper story transparency, upper story facade area is measured as the portion of the facade area between the top of the finished floor for that story and the top of the finished floor above. When there is no story above, it is measured to the bottom of the roof structure above.



- ii. Upper story transparency is measured separately for each individual story of a building facade above the ground floor.

## B. Blank Wall Width

The width of ground story facades and foundation walls without window or door openings.

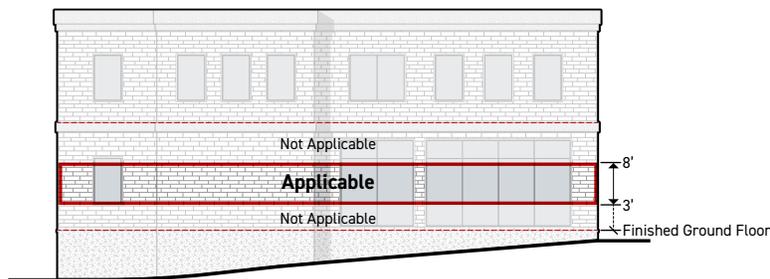
### 1. Intent

To provide visual interest and activation along the public realm by limiting the area without visual or physical connections between the public realm and the interior of a building.

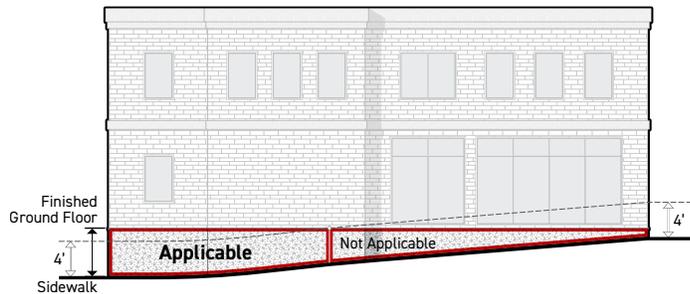
### 2. Applicability

Blank wall standards apply to the following:

- a. Street-facing facades between 3 and 8 feet from the finished floor elevation of the ground story, measured vertically.



- b. All portions of foundation walls on street-facing building facades that are exposed 4 feet in height or greater above finished grade. If foundation walls are set back more than 10 feet from a sidewalk, exposed height is measured from the lowest elevation of finished grade within 5 feet, measured from and perpendicular to the foundation wall.



### 3. Standards

#### a. General

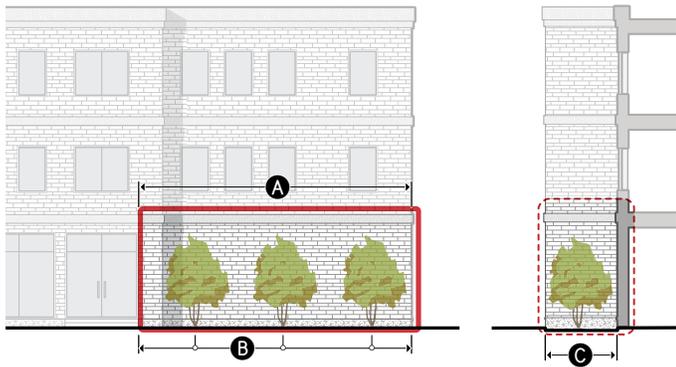
Windows and doors meeting the standards of *Sec. XX, Ground Story and Upper Story Transparency*, on applicable ground story facades or foundation walls can be separated by a distance no greater than the maximum blank wall width specified by the zoning district.

**b. Ground Story Facade Blank Wall Treatments**

Ground story facades that exceed the maximum allowed blank wall width may apply one or more of the following blank wall treatments and increase the allowed blank wall width by 100%.

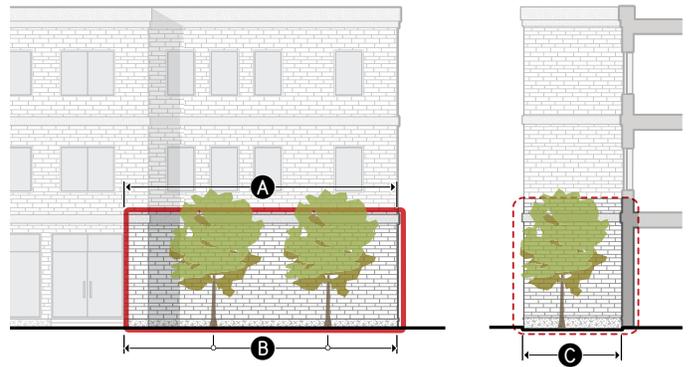
**UNDERSTORY TREES**

Small trees planted between a ground story facade with no window or door openings and the public realm.



**CANOPY TREES**

Large trees planted between a ground story facade with no window or door openings and the public realm.



**DIMENSIONAL STANDARDS**

<b>A</b> Treatment width (min % of blank wall width)	100%
Tree type	Understory
<b>B</b> Planting frequency (min avg.)	5 per 100'
<b>C</b> Planting area depth (min)	7'

**DIMENSIONAL STANDARDS**

<b>A</b> Treatment width (min % of blank wall width)	100%
Tree type	Canopy
<b>B</b> Planting frequency (min avg.)	3 per 100'
<b>C</b> Planting area depth (min)	15'

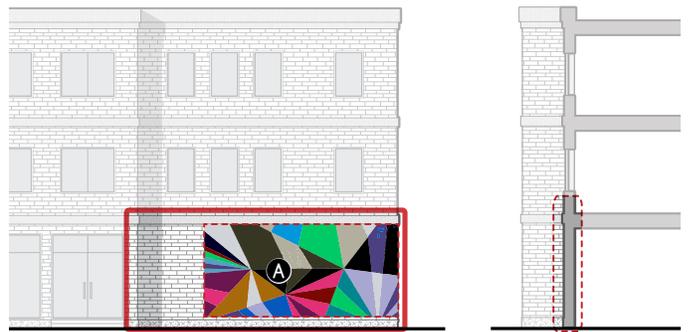
### LIVING WALL

A permanently fixed assembly located between a ground story facade with no window or door openings and the public realm that supports plants, their growing medium, and irrigation.



### PUBLIC ART

A noncommercial image attached to the blank wall. Murals must be approved by **Insert Review Body**.



#### DIMENSIONAL STANDARDS

A Treatment area (min % of blank facade area)	75%
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#### DIMENSIONAL STANDARDS

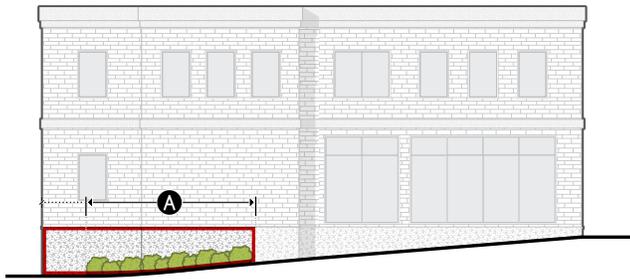
A Treatment area (min % of blank facade area)	75%
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**c. Blank Foundation Wall Treatments**

Foundation walls that exceed the maximum allowed blank wall width may apply one or more of the following blank foundation wall treatments and increase the allowed blank wall width by 100%.

**FOUNDATION PLANTING**

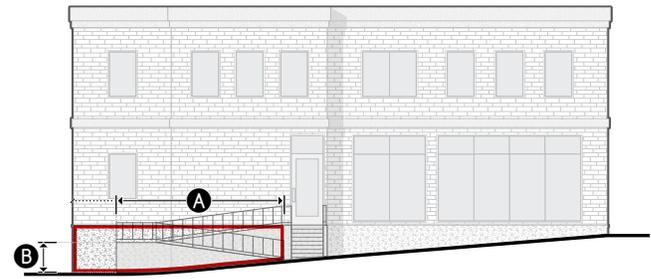
Screening plants located between a foundation wall with no window or door openings and the public realm.



DIMENSIONAL STANDARDS	
A Treatment width (min % of blank wall width)	75%
Plant type	Screening plant
Planting frequency (min avg.)	3 per 10'
Planting area depth (min)	3'

**PEDESTRIAN ACCESS**

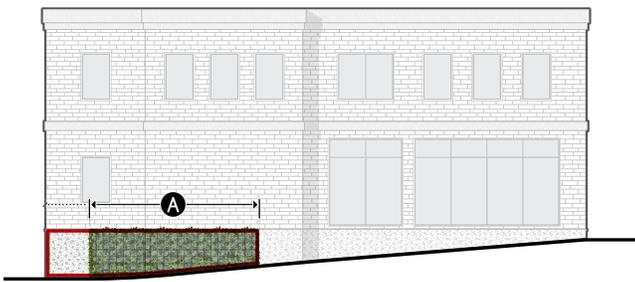
Stairs or ramps providing pedestrian access to a street-facing entrance located between a foundation wall with no window or door openings and the public realm.



DIMENSIONAL STANDARDS	
A Treatment width (min % of blank wall width)	75%
B Height above sidewalk (max)	4'

## LIVING WALL

A structure permanently attached to a foundation wall with no window or door openings that supports climbing plants.

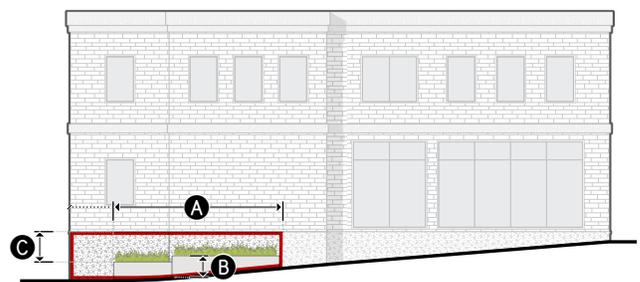


### DIMENSIONAL STANDARDS

<b>A</b> Treatment area (min % of blank foundation wall area)	75%
Planting area depth (min)	1.5'

## PLANTER

Permanent structure containing plants and their growing medium located between a foundation wall with no window or door openings and the public realm.



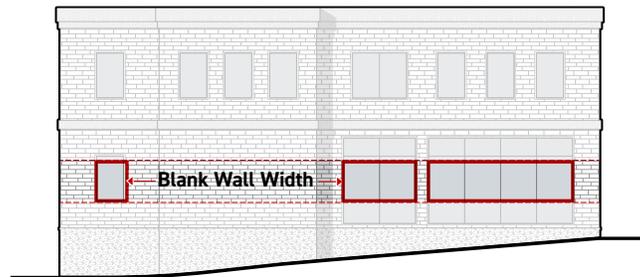
### DIMENSIONAL STANDARDS

<b>A</b> Treatment area (min % of blank foundation wall area)	75%
Planting area depth (min)	2.5'
<b>B</b> Height above sidewalk (min)	4'
<b>C</b> Foundation wall reveal (max)	2'

## 4. Measurement

### a. General

- i. Blank wall width is measured horizontally and parallel to the street lot line from the edge of a window or door to the edge of an adjacent window or door, or to the edge of the ground story facade.
- ii. Blank wall width is measured horizontally for any individual width of ground story facade that does not include transparency between 3 and 8 feet, measured vertically from the ground story finished floor elevation.



### b. Blank Wall Treatments

#### i. Treatment Width

Minimum treatment width is measured as a percentage, calculated as the cumulative width of blank wall treatments divided by the total length of blank wall width.

#### ii. Treatment Area

Minimum treatment area is measured as a percentage, calculated as the cumulative area of blank wall treatments divided by the total applicable facade area within the blank wall width.

#### iii. Tree Type

See *Sec. XX, Landscape Standards*, for understory and canopy tree planting requirements.

#### iv. Plant Type

See *Sec. XX, Landscape Standards*, for screening plant planting requirements.

#### v. Planting Frequency

Planting frequency is measured as a ratio of the minimum number of plants required along the total length of the blank wall width. A minimum of one plant of the required plant type must be provided regardless of the width of blank wall treatment.

**vi. Planting Area Depth**

Minimum planting area depth is measured as the horizontal dimension of growing medium at the narrowest point, measured perpendicular to the applicable street lot line. The planting area must be open to the sky for at least the required planting area depth.

**vii. Height Above Sidewalk**

- 1) Height above sidewalk is measured vertically from adjacent sidewalk grade to the topmost point of the blank wall treatment.
- 2) For foundation walls located more than 10 feet from the sidewalk, maximum height above sidewalk is measured from the lowest elevation of finished grade to within 5 feet, measured from and perpendicular to the foundation wall, to the topmost point of the blank wall treatment.

**viii. Foundation Wall Reveal**

Foundation wall reveal is measured vertically from the top of an inactive wall treatment to the finished ground floor elevation along the entire treated portion of a blank foundation wall.

## 2.10.13. Entrances

### A. Street-Facing Entry Spacing

*A maximum distance between street-facing doors providing access from the public realm to the interior of a building.*

#### 1. Intent

To provide visual interest along the public realm, orient buildings to the public realm, and promote greater use and activation of the public sidewalk by limiting distance without physical connections between the public realm and the interior of a building.

#### 2. Applicability

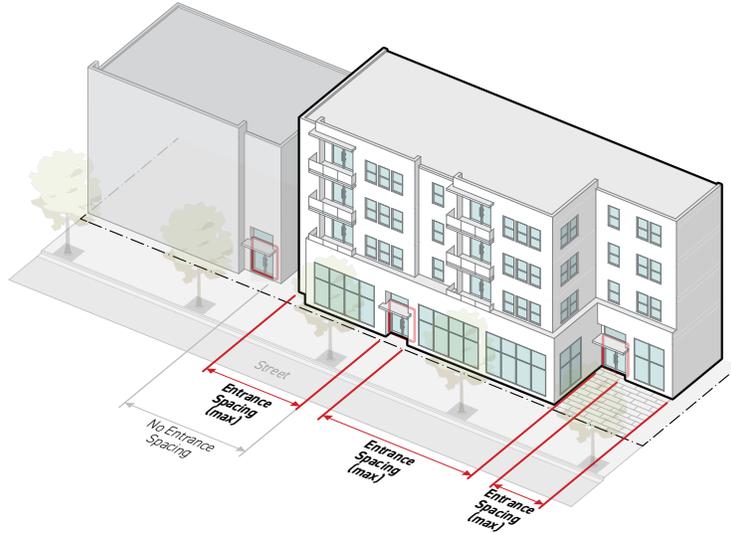
- a. Street-facing entry spacing requirements apply to all ground story street-facing facades.
- b. The maximum street-facing entry spacing requirements must be met for each building and abutting buildings on a zoning lot or within a project site, but are not applicable to buildings unrelated to the project.
- c. Accessory structures do not have to provide a street-facing entry, and are not included in the calculation of maximum street-facing entry spacing requirement.

#### 3. Standards

- a. A street-facing entry must be provided to meet the street-facing entry spacing requirements of the zoning district.
- b. Street-facing entries must not be located farther apart than the maximum entry spacing allowed by the zoning district.
- c. To qualify as a street-facing entry, building entrances must meet the following standards:
  - i. Be located on a street-facing ground story facade;
  - ii. Provide both ingress and egress pedestrian access to the ground story of the building;
  - iii. Remain operable at all times. Access may be controlled and limited to occupants; and
  - iv. Must access an occupiable space.
- d. A primary street-facing entry is required for all buildings.
- e. A side street-facing entry is only required when the building width along the side street is greater than the maximum entry spacing requirement for the zoning district.
- f. On a corner lot, an angled entry at the corner of the building where the primary and side street-facing facades meet may be used to meet the requirement for a street-facing entry along both streets.
- g. Non-required entries are allowed in addition to required entries.

## 4. Measurement

Entry spacing is measured horizontally and parallel to the street boundary line from the edge of a door to the edge of an adjacent door, or to the edge of the building.



## B. Entry Feature

*Improved design requirements applied to entrances along the public realm.*

### 1. Intent

To promote visual interest along the public realm, provide greater shelter and comfort to users, and highlight connections between the public and private realm to improve walkability.

### 2. Applicability

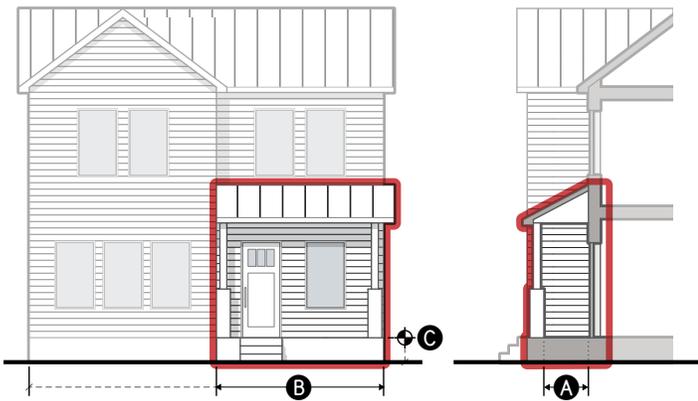
Entry feature standards apply to all required street-facing entrances where entry features are required by the zoning district.

### 3. Standards

- a. Any entry feature must face and be directly accessible from the public street along the applicable primary or side street lot line.
- b. Any roof, canopy, or similar feature providing coverage for an entry feature must provide adequate protection from inclement weather for pedestrians using the entry.
- c. An entry feature must meet all the standards of one of the following entry feature options:

## PORCH

A wide, raised platform, projecting in front of a street-facing entrance, that is entirely covered but not enclosed.

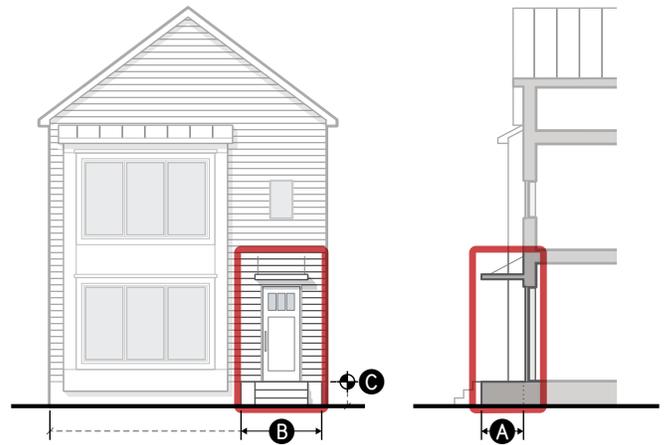


### DIMENSIONAL STANDARDS

Ⓐ Depth (min)	5'
Ⓑ Width (min % of building width)	30%
Covered entrance	n/a
Covered area (min)	100%
Ⓒ Finished floor elevation (min/max)	2' / 5'
Enclosure (max)	50%

## RAISED ENTRY

A raised platform accessed from an exterior staircase, providing covered access to a street-facing entrance.

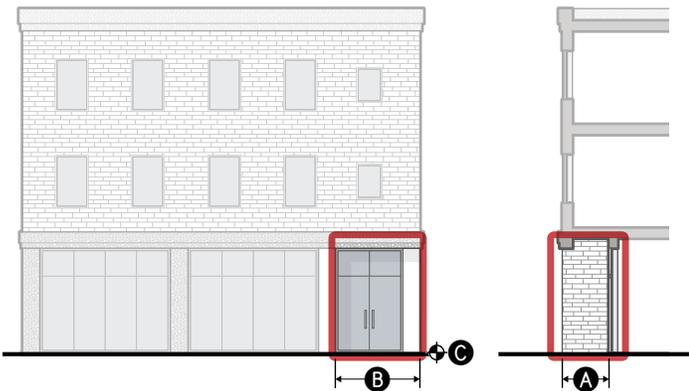


### DIMENSIONAL STANDARDS

Ⓐ Depth (min)	3'
Ⓑ Width (min)	4'
Covered entrance	Required
Covered area (min)	n/a
Ⓒ Finished floor elevation (min/max)	2' / 5'
Enclosure (max)	50%

## RECESSED ENTRY

A space set behind the primary facade plane providing sheltered access to a street-facing entrance.



### DIMENSIONAL STANDARDS

Ⓐ Depth (min/max)	3' / 15'
Ⓑ Width (min)	5'
Covered entrance	Required
Covered area (min)	100%
Ⓒ Finished floor elevation (min/max)	-2' / 5'
Enclosure (max)	75%

## COVERED ENTRY

A space that provides sheltered access to an at-grade street-facing entrance with an overhead projecting structure.

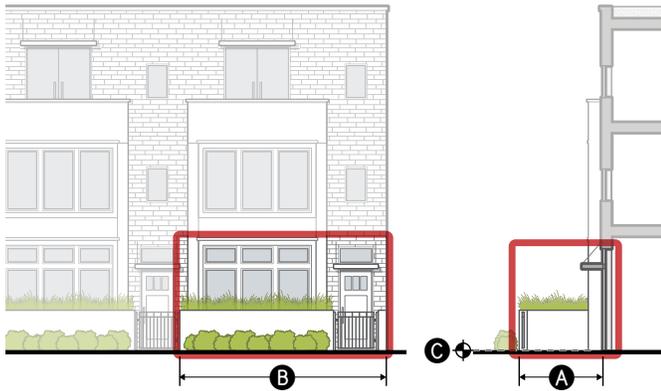


### DIMENSIONAL STANDARDS

Depth (min)	n/a
Width (min)	n/a
Covered entrance	Required
Covered area (min)	n/a
Ⓐ Finished floor elevation (min/max)	-2' / 5'
Enclosure (max)	50%

## FORECOURT

A yard screened with a short wall, fence or hedge that provides significant privacy for occupants located on the ground story, near sidewalk grade.



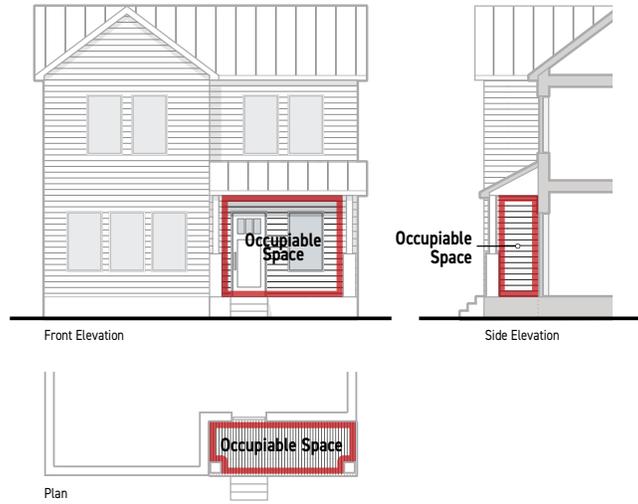
### DIMENSIONAL STANDARDS

<b>A</b> Depth (min)	8'
<b>B</b> Width (min)	10'
Covered entrance	Required
Covered area (min)	n/a
<b>C</b> Finished floor elevation (min/max)	-2' / 5'
Fence/wall height (min/max)	2.5' / 4'

## 4. Measurement

### a. General

- i. An entry feature is measured for each required street-facing entry based on whether the design of a street-facing entry meets the standards of an allowed entry feature.
- ii. Entry feature standards apply only to the occupiable portion of an entry feature, excluding structural elements such as walls, columns, or pillars. Stairs and ramps used to access the entry feature are not considered occupiable area for the purpose of meeting entry feature standards.



### b. Depth

Minimum depth is measured as the horizontal dimension at the narrowest point of an entry feature, perpendicular to the applicable street lot line.

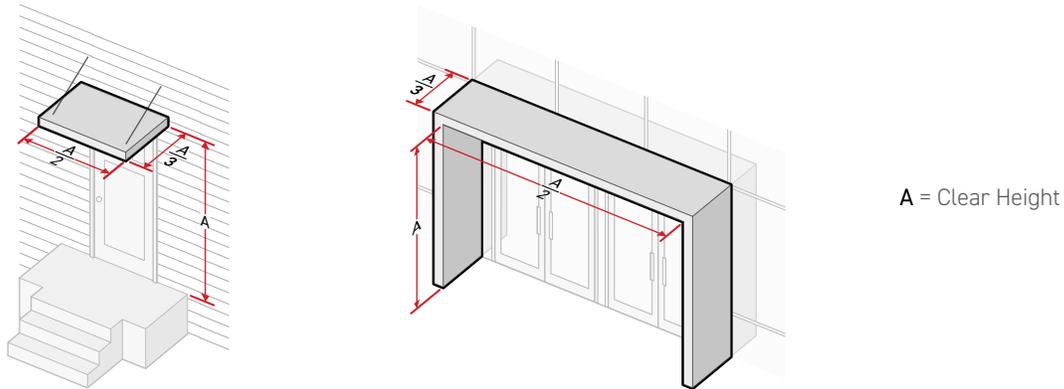
### c. Width

- i. When specified in feet, width is measured as the total width of an entry feature, measured parallel to the applicable street lot line.
- ii. When specified as a percentage, width is measured as the total width of the entry feature divided by the total width of the building that the entry provides access to, measured parallel to the applicable street lot line.
- iii. When the calculation for an entry feature width percentage results in a fraction, the result is rounded up to the nearest whole number.

### d. Covered Entrance

- i. When required as a part of an entry feature, a canopy, roof, or other sheltering structure must cover the exterior area immediately abutting the associated street-facing entry.
- ii. The minimum depth of the covered area must be the clear height of the covered area divided by 3.

- iii. The minimum width of the covered area must be the clear height of the covered area divided by 2.



**e. Covered Area**

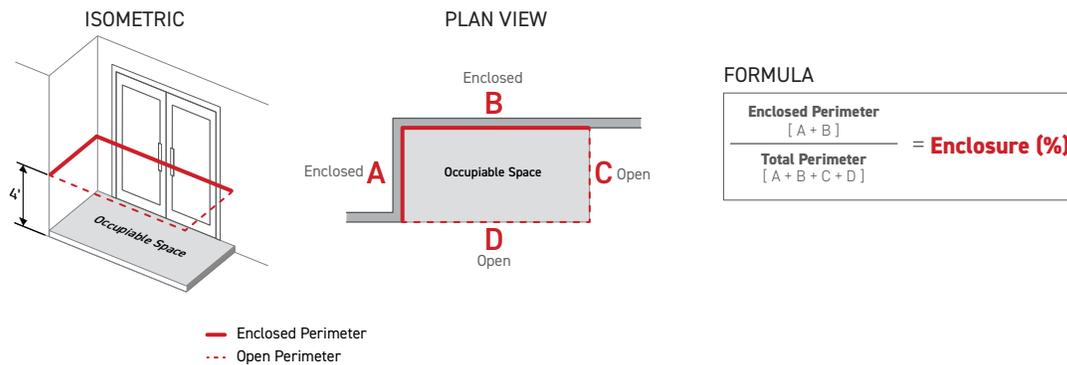
Covered area is measured as the portion of an entry feature area that is covered by a canopy, roof, or other sheltering structure, divided by the total entry feature area.

**f. Finished Floor Elevation**

Where a sidewalk exists within 10 feet of the entry feature, the finished floor elevation is measured from the average grade along the adjacent sidewalk to the top of the finished floor surface or ground surface of the entry feature. Average grade along the sidewalk is measured as described in *Sec. XX, Average Grade*.

**g. Enclosure**

Enclosure is measured as a percentage calculated by measuring the linear distance around the occupiable space of the entry feature at a height of 4 feet, and dividing the enclosed portions of the perimeter by the total perimeter.



## 2.10.14. Walls & Fences

*Vertical structures separating the public realm from private property.*

For requirements see *Sec. XX, Wall and Fence Standards.*

[Standards for walls and fences will be included in the Development Standards article]

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ARTICLE 34-3.

# USE REGULATIONS

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## DIV. 3.1. USE PERMISSIONS

### 3.1.1. Use Table Key

#### A. Use Table Key

##### 1. Allowed Uses

- a. P = A by-right allowed use.
- b. P\* = A by-right allowed use, provided it meets the use standards in the right-hand column of the use table.

##### 2. Discretionary Allowed Uses

- a. S = A use that is allowed only with a Special Use Permit.
- b. S\* = A use that is allowed only with a Special Use Permit, provided it also meets the use standards in the right-hand column of the use table.

##### 3. Uses Not Allowed

- = A use that is not allowed.

#### B. Use Size Restrictions

1. Size restrictions expressed as square feet (SF) in the use table refer to gross floor area per tenant.
2. Size restrictions expressed as acreage in the use table refer to the total size of the site.

### 3.1.2. Permitted Use Table

Use Category Specific Use	RESIDENTIAL			RESIDENTIAL MIXED USE		CORRIDOR MIXED USE			NODE MIXED USE					INDUSTRIAL FLEX		SPECIAL		Use Standards
	R-A	R-B	R-C	RX-3	RX-5	CX-3	CX-5	CX-8	NX-3	NX-5	NX-8	NX-10	DX	IX-5	IX-8	CV	CM	
<b>RESIDENTIAL USES</b>																		
<b>Household Living</b>																		
General household living	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	-	P	
Manufactured home park	-	-	-	P*	-	-	-	-	-	-	-	-	-	-	-	-	-	
<b>Group Living</b>																		
General group living (up to 8 residents)	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	-	P	
General group living (8+ residents)	S	S	S	P	P	P	P	P	P	P	P	P	P	P	P	-	P	
Adult assisted living (up to 8 residents)	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	-	P	
Adult assisted living (8+ residents)	S	S	S	P	P	P	P	P	P	P	P	P	P	P	P	-	P	
Residential treatment facility (up to 8 residents)	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	-	P	
Residential treatment facility (8+ residents)	S	S	S	P	P	P	P	P	P	P	P	P	P	P	P	-	P	
<b>PUBLIC AND INSTITUTIONAL USES</b>																		
<b>Civic</b>																		
General civic	S	S	S	S	S	P	P	P	P	P	P	P	P	P	P	P	P	
Religious assembly	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	
Shelter	-	-	-	S	S	P	P	P	P	P	P	P	S	S	S	P	P	
Criminal justice facility	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	S	-	
<b>Day Care</b>																		
Day care center (1 to 12 persons)	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	
Day care center (12+ persons)	-	-	-	P	P	P	P	P	P	P	P	P	P	P	P	P	P	
<b>Education</b>																		
General Education	S	S	S	P	P	P	P	P	P	P	P	P	P	P	P	P	P	
College, university or vocational school	-	-	-	-	-	P	P	P	P	P	P	P	P	P	P	P	P	
<b>Parks &amp; Open Space</b>																		
General parks and open space	S	S	S	P	P	P	P	P	P	P	P	P	P	P	P	P	P	
Cemetery	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	P	S	

KEY | P = Use allowed | S = Special Use Permit required | \* = Use standards apply | - = Use not allowed

Use Category Specific Use	RESIDENTIAL			RESIDENTIAL MIXED USE		CORRIDOR MIXED USE			NODE MIXED USE					INDUSTRIAL FLEX		SPECIAL		Use Standards
	R-A	R-B	R-C	RX-3	RX-5	CX-3	CX-5	CX-8	NX-3	NX-5	NX-8	NX-10	DX	IX-5	IX-8	CV	CM	
	<b>Utilities</b>																	
Utility, major	-	-	-	-	-	S	S	S	S	S	S	S	S	P	P	P	P	
Utility, minor	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	
Communication facility, attached (utility pole or not visible)	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	
Communication facility, attached (visible)	-	-	-	-	-	-	-	-	-	-	-	-	-	P*	P*	P*	P*	
Communication facility, tower	-	-	-	-	-	-	-	-	-	-	-	-	-	P*	P*	-	-	
<b>COMMERCIAL USES</b>																		
<b>Entertainment &amp; Recreation</b>																		
General indoor entertainment and recreation (up to 4,000 SF)	-	-	-	-	-	P	P	P	P	P	P	P	P	P	P	S	P	
General indoor entertainment and recreation (4,000+ SF)	-	-	-	-	-	-	P	P	-	P	P	P	P	P	P	S	P	
General outdoor entertainment and recreation	-	-	-	-	-	-	S	S	-	S	P	P	P	P	P	S	P	
Club, private	-	-	-	-	-	P	P	P	P	P	P	P	P	P	P	P	P	
Electronic gaming café	-	-	-	-	-	-	-	-	-	-	-	-	-	S	-	-	-	
Golf course	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	
Golf driving range	-	-	-	-	-	-	-	-	-	-	-	-	-	S	S	-	-	
<b>Food &amp; Beverage</b>																		
General food and beverage (up to 4,000 SF)	-	S*	S*	P*	P*	P	P	P	P	P	P	P	P	P	P	-	P	
General food and beverage (4,000+ SF)	-	-	-	-	-	P	P	P	P	P	P	P	P	P	P	-	P	
Micro-producer	-	-	-	-	-	-	P	P	-	P	P	P	P	P	P	-	-	
Small brewery	-	-	-	-	-	-	P	P	-	P	P	P	P	P	P	-	-	
<b>Lodging</b>																		
General lodging (up to 10 guest rooms)	-	P*	P*	P*	P*	P	P	P	P	P	P	P	P	P	P	-	P	
General lodging (10+ guest rooms)	-	-	-	-	-	P	P	P	P	P	P	P	P	P	P	-	P	
<b>Medical</b>																		
General medical (up to 4,000 SF)	P*	P*	P*	P*	P*	P	P	P	P	P	P	P	P	P	P	P	P	
General medical (4,000+ SF)	-	-	-	-	-	P	P	P	P	P	P	P	P	P	P	P	P	
Hospital	-	-	-	-	-	-	S	S	-	-	S	S	-	S	S	P	P	
Medical laboratory (up to 4,000 SF)	-	-	-	-	-	P	P	P	P	P	P	P	P	P	P	P	P	
Medical laboratory (4,000+ SF)	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P	P	P	

KEY | P = Use allowed | S = Special Use Permit required | \* = Use standards apply | - = Use not allowed

Use Category Specific Use	RESIDENTIAL			RESIDENTIAL MIXED USE		CORRIDOR MIXED USE			NODE MIXED USE					INDUSTRIAL FLEX		SPECIAL		Use Standards
	R-A	R-B	R-C	RX-3	RX-5	CX-3	CX-5	CX-8	NX-3	NX-5	NX-8	NX-10	DX	IX-5	IX-8	CV	CM	
	<b>Office</b>																	
General Office (up to 4,000 SF)	P*	P*	P*	P*	P*	P	P	P	P	P	P	P	P	P	P	P	P	P
General Office (4,000+ SF)	-	-	-	-	-	P	P	P	P	P	P	P	P	P	P	P	P	P
<b>Parking</b>																		
Commercial surface parking	-	-	-	-	-	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*
Commercial structured parking	-	-	-	-	-	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*
Remote parking	-	-	-	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*
<b>Personal Service</b>																		
General personal service (up to 4,000 SF)	P*	P*	P*	P*	P*	P	P	P	P	P	P	P	P	P	P	-	P	
General personal service (4,000+ SF)	-	-	-	-	-	P	P	P	P	P	P	P	P	P	P	-	P	
Animal Care, outdoor	-	-	-	-	-	-	P	P	-	-	S	-	-	P	P	-	-	
Gym or studio	-	-	-	P*	P*	P	P	P	P	P	P	P	P	P	P	P	P	P
<b>Retail</b>																		
General retail (up to 4,000 SF)	S*	P*	P*	P*	P*	P	P	P	P	P	P	P	P	P	P	-	P	
General retail (4,000+ SF)	-	-	P*	P*	P*	P	P	P	P	P	P	P	P	P	P	-	P	
Artisan workshop	-	-	-	-	-	P	P	P	P	P	P	P	P	P	P	-	P	
Farmer's market	-	-	-	-	-	P	P	P	P	P	P	P	P	P	P	P	P	P
Greenhouse or nursery	-	-	-	-	-	S	-	-	S	-	-	-	-	P	P	P	P	
<b>Transportation</b>																		
Passenger terminal	-	-	-	-	-	P	P	P	P	P	P	P	P	P	P	P	P	P
Helipad	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	-	S	
<b>Vehicle Sale &amp; Service</b>																		
Vehicle repair or service (up to 1 acre)	-	-	-	-	-	P	P	-	-	-	-	-	-	P	P	-	-	
Vehicle repair or service (1+ acres)	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P	-	-	
Vehicle sale or rental	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P	-	-	
Fueling station	-	-	-	-	-	P	P	-	P*	P	P	-	-	P	P	-	-	
<b>INDUSTRIAL USES</b>																		
<b>Industrial &amp; Manufacturing</b>																		
Bakery, wholesale (up to 4000 SF)	-	-	-	-	-	P	P	P	P	P	P	P	P	P	P	-	-	
Bakery, wholesale (4000+ SF)	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P	-	-	
Low-impact industrial and manufacturing (up to 4000 SF)	-	-	-	-	-	P	P	-	P	P	P	-	-	P	P	-	P	
Low-impact industrial and manufacturing (4000+ SF)	-	-	-	-	-	S	S	-	S	S	S	-	-	P	P	-	P	

KEY | P = Use allowed | S = Special Use Permit required | \* = Use standards apply | - = Use not allowed

Use Category Specific Use	RESIDENTIAL			RESIDENTIAL MIXED USE		CORRIDOR MIXED USE			NODE MIXED USE					INDUSTRIAL FLEX		SPECIAL		Use Standards
	R-A	R-B	R-C	RX-3	RX-5	CX-3	CX-5	CX-8	NX-3	NX-5	NX-8	NX-10	DX	IX-5	IX-8	CV	CM	
High-impact industrial and manufacturing	-	-	-	-	-	-	-	-	-	-	-	-	-	S	S	-	-	
Research and development	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P	-	P	
<b>Warehouse &amp; Distribution</b>																		
General warehouse and distribution (up to 25,000 SF)	-	-	-	-	-	P	P	-	P	P	-	-	-	P	P	-	-	
General warehouse and distribution (25,000+ SF)	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P	-	-	
Data center	-	-	-	-	-	P*	P*	P*	P*	P*	P*	P*	P*	P	P	-	P	
Distribution storage yard	-	-	-	-	-	-	-	-	-	-	-	-	-	P*	P*	-	-	
Recycling drop-off center	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P	P	-	
Self-service storage	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P	-	-	
Vehicle storage yard	-	-	-	-	-	-	-	-	-	-	-	-	-	P	P	P	-	
<b>ACCESSORY USES</b>																		
Alcohol sales for on-premise consumption	-	-	-	-	-	P	P	P	P	P	P	P	P	P	P	-	P	
Drive-through	-	-	-	-	-	P	P	-	P	P	P	-	-	P	P	-	-	
Family day home	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	
Home occupation	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	-	P*	
Homestay	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	-	P*	
Outdoor dining	-	-	-	-	-	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	-	P*	
Outdoor display	-	-	-	-	-	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	-	P*	
Outdoor entertainment	-	-	-	-	-	-	P*	P*	-	P*	P*	P*	P*	P*	P*	-	P*	
Outdoor storage	-	-	-	-	-	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	-	P*	
<b>TEMPORARY USES</b>																		
Temporary outdoor assemblies	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	
Temporary outdoor sales	-	-	-	-	-	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	
Amusement enterprises	-	-	-	-	-	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	
Mobile food unit	-	-	-	-	-	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	
Temporary family health care structures	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	
Temporary construction yard	-	-	-	-	-	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	
Temporary surface parking lot	-	-	-	-	-	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	P*	

KEY | P = Use allowed | S = Special Use Permit required | \* = Use standards apply | - = Use not allowed

## DIV. 3.2. USE DEFINITIONS

### 3.2.1. Use Interpretations

- A. Uses are organized by use category (such as Household Living or Group Living) and then by specific use within that category (such as General Household Living or Manufactured Home Park). Use categories are used to organize specific uses with similar attributes. Specific uses have permissions that determine if that use is allowed in a particular zoning district.
- B. When a proposed use is not listed, the Zoning Administrator has the responsibility for determining whether the proposed use is similar to an already listed use. Where a use contains a list of included uses, the uses on the list are to be considered example uses, and not all-inclusive. The Zoning Administrator will first determine what use category the use is most similar to, and then determine the most similar specific use.
- C. When a proposed use is found by the Zoning Administrator not to be similar to an already listed use, the use is not allowed.
- D. When determining whether a proposed use is similar to an already listed use, the Zoning Administrator will consider the following criteria:
  - 1. Actual or projected characteristics of the use.
  - 2. Amount and nature of any nuisances generated by the use.
  - 3. Type, size, nature and arrangement of buildings and structures.
  - 4. Relative amount and types of sales.
  - 5. Relative number of employees and customers.
  - 6. Hours of operation.
  - 7. Number of vehicle trips generated, types of vehicles, and parking demand.
  - 8. Anticipated amount and type of outdoor storage.
  - 9. Likely impact on adjacent properties.
- E. Multiple principal uses are allowed on a zoning lot when the uses are all allowed in the district and the standards for all uses on the zoning lot can be met.

### 3.2.2. Residential Uses

#### A. Household Living Use Category

Residential occupancy of a dwelling unit by a household. A household is considered one or more persons living together in a dwelling unit, with common access to, and common use of, all living, kitchen, and eating areas within the dwelling unit. Tenancy is arranged for 30 days or more. Household living is consolidated into the following specific uses:

### 1. General Household Living

Household living uses in a variety of building types. Typical examples include single family homes, duplexes, multiplexes, townhomes, apartments and mixed-use buildings.

### 2. Manufactured Home Park

A site which contains or is intended for the long-term location of manufactured homes that may include services and facilities for the residents.

## B. Group Living Use Category

Residential occupancy of a building by a group of people that does not meet the definition of household living. Tenancy is arranged for 30 days or more. Generally, group living facilities have a common eating area for residents and residents may receive care, training or treatment.

### 1. General Group Living

Group living uses that provide for a variety of living facilities. Typical examples include boarding house, dormitory, fraternity or sorority house, monastery or convent, single-room-occupancy (SRO) housing, cooperative housing, group foster home, hospice, nursing home, and rehabilitation center.

### 2. Adult Assisted Living

A residential use in which aged, infirm or disabled adults reside, and for which the licensing authority is the Virginia Department of Social Services, or for which no state license is required. The use does not include the home or residence of an individual who cares only for persons related to them by blood or marriage. The use also does not include any facility licensed by the State Board of Health or the state Department of Mental Health, Mental Retardation and Substance Abuse Services, or any other facility excluded from the definition of "assisted living facility," set forth within Code of Virginia, § 63.2-100.

### 3. Residential Treatment Facility

A residential use for which either (i) the Department of Mental Health, Mental Retardation and Substance Abuse Services, or (ii) in the case of a children's residential facility, as defined with Code of Virginia § 63.2-100, the Department of Social Services is the state licensing authority.

## 3.2.3. Public and Institutional Uses

### A. Civic Use Category

Uses that provide ongoing governmental, life safety, educational, and cultural services to the general public, uses that provide meeting areas for religious practice. Civic is consolidated into the following specific uses:

#### 1. General Civic

Civic uses that provide general governmental, life safety and cultural services. Typical examples include community center, courthouse, fire station, library, municipal or government office, museum, and post office.

## 2. Religious Assembly

A use that provides meeting areas for religious activities, including facilities operated by a religious group and used for educational activities. Typical examples include church, chapel, mosque, temple, and synagogue.

## 3. Shelter

A use that provides temporary sleeping facilities for unhoused or displaced persons, typically for periods less than 30 days.

## 4. Criminal Justice Facility

A residential facility operated by the Department of Criminal Justice Services (DCJS), or a contractor of DCJS, or by a local criminal justice agency. Typical examples include juvenile detention facility, adult jail and correctional facility, halfway house, and similar residential accommodations for delinquent juveniles or adult offenders.

## B. Day Care Use Category

Uses that provide care, protection and supervision of children or adults on a regular basis in a facility away from their primary residence, primarily during daytime hours, for less than 24 hours per day.

### 1. Day Care Center

A use that provides care services to children or adults. Typical examples include childcare center, nursery school and drop-in center.

## C. Education Use Category

Uses that provides educational services to students. Education is consolidated into the following specific uses:

### 1. General Education

Education uses that provides education to students at the pre-kindergarten, kindergarten, elementary, middle, or high school level.

### 2. College, University or Vocational School

A use that provides post-secondary education to students. Typical examples include college or university, community college, seminary, and artistic or vocational school.

## D. Parks and Open Space Use Category

Uses that provide active or passive outdoor recreation. Typically, areas and facilities are publicly accessible and often contain recreational equipment or facilities. Parks and open space is consolidated into the following specific uses:

### 1. General Parks and Open Space

Parks and open space uses that provide for outdoor recreation to the general public. Typical examples include neighborhood, community or regional park; dog park; community or botanical garden; conservation or preservation area; public square or plaza; and recreational trail, greenway, or multi-use path.

## 2. Cemetery

A use that provides for the interment of human or animal remains, including a cemetery for earth interments, a columbarium for cinerary interments, or a mausoleum for vault interments. Includes all uses necessarily or customarily associated with interment of human remains, benches, ledges, walls, graves, roads, paths, landscaping, and soil storage consistent with federal, state, and local laws on erosion sediment control.

## E. Utility Use Category

Uses that generate and distribute utility services such as electricity, gas, sewer, water, cable and internet. Utility is consolidated into the following specific uses:

### 1. Utility, Major

A use that provides services of a regional nature that normally entail the construction of new buildings or structures. Typical examples include power generating plants and sources; electrical switching facilities, stations and substations; water and wastewater treatment plants; solar farms; and water towers.

### 2. Utility, Minor

A use that provides services that are necessary to support development within the immediate vicinity and that involve only minor structures. Typical examples include small facilities such as transformers, relay and booster devices; well water and sewer pump stations; stormwater retention and detention facilities; telephone exchanges; and surface transportation stops.

### 3. Communication Facility

Any antenna used by any commercial, governmental, public or quasi-public user(s). Where reference is made to a communications facility, unless otherwise specified or indicated by context, such reference will be deemed to include any base station, tower or other support structure on which the antenna or other communications equipment is mounted, any concealment element(s), and any attachment device and other equipment referenced within 47 C.F.R. § 4.0001(b)(1)(i), (ii), and any associated equipment shelter.

## 3.2.4. Commercial Uses

### A. Entertainment and Recreation Use Category

Uses that provide continuous or periodic entertainment or recreational activity. Entertainment and recreation is consolidated into the following specific uses:

#### 1. General Indoor Entertainment and Recreation

Entertainment and recreation uses that operate primarily in an indoor setting. Typical examples include amusement center, arcade, arena, auditorium, bowling alley, cinema, concert or music hall, convention center, dance hall, event venue, ice or roller skating rink, indoor stadium, pool hall, and theater.

#### 2. General Outdoor Entertainment and Recreation

Entertainment and recreation uses that operate primarily in an outdoor setting. Typical examples include amusement or water park; amphitheater; athletic complex; outdoor stadium; ballfields; basketball or

tennis court; bicycle, skateboarding or roller blading facility; drive-in or outdoor theater; and miniature golf course.

### 3. Club, Private

A use that provides meeting areas for membership organizations that hold regular meetings or events for dues-paying members and their guests.

### 4. Electronic Gaming Café

Electronic gaming café means a business where persons utilize electronic machines to conduct games, contests, lotteries, schemes, or promotional offerings. The machines include, but are not limited to, computers and gaming terminals. Electronic gaming cafés do not include amusement centers, as defined in *Sec.XX, Definitions*. The sale of Virginia Lottery tickets does not, by itself, establish an electronic gaming café.

### 5. Golf Course

A use that provides for a large landscaped area for playing golf including support facilities and buildings, but does not include a golf driving range.

### 6. Golf Driving Range

A use that provides a limited area on which golf players do not walk, but onto which they drive golf balls from a central driving tee.

## B. Food and Beverage Use Category

Uses that prepare and sell food and beverage for on- or off-premise consumption. Food and beverage is consolidated into the following specific uses:

### 1. General Food and Beverage

Food and beverage uses that prepare and sell food or beverage and may only serve alcohol for on-premise consumption as an accessory use. Typical examples include bakery, catering facility, cafe, coffee and tea shop, commercial kitchen, fast food establishment, ice cream or yogurt shop, juice or smoothie bar, and restaurant.

### 2. Micro-producer

A microbrewery, microwinery, or microdistillery, in which 25 percent or more of the facility's production is sold directly to the consumer on-site, within a retail shop, bar, tasting room, tap-room, restaurant, or other similar facility.

### 3. Small Brewery

A use that produces fewer than 30,000 barrels per year of beer, and sells directly to the consumer on-site within a retail shop, bar, tasting room, tap-room, restaurant, or other similar facility.

## C. Lodging Use Category

Uses with individual sleeping or living units that provide overnight accommodations to guests for short-term stays of less than 30 days.

## 1. General Lodging

Lodging uses that provide for a variety short-term stay facilities. Typical examples include hotel, motel, inn, bed and breakfast, hostel, and extended stay facility.

## D. Medical Use Category

Uses that provide medical, surgical or dental care to patients such as the diagnosis, treatment, mitigation, cure or prevention of disease. Medical is consolidated into the following specific uses:

### 1. General Medical

Medical uses that administer human health care in a non-hospital, outpatient setting. Typical examples include medical office or clinic, dental office or clinic, acute care facility, ambulatory care facilities, optometrist, orthodontist, physical therapy office, surgical out-patient facility, and urgent care.

### 2. Hospital

A use that administers primarily in-patient, intensive, human medical or surgical care, including stand-alone emergency care services.

### 3. Medical Laboratory

A use that conducts medical research or testing and examining of materials derived from the human body, such as fluid, tissue or cells, for the purpose of providing information on diagnosis, treatment, mitigation, cure or prevention of disease. Includes compounding of drugs and chemicals, not involving sale directly to the public.

## E. Office Use Category

Uses characterized by activities conducted in a private or co-working setting and generally focusing on business, professional or financial services.

### 1. General Office

Office uses that provide space for a variety of business, professional or financial services to be conducted. Typical examples include accounting, advertising, architecture, auditing, banking, bookkeeping, consulting, contracting, design, employment, engineering, insurance, investment, legal, real estate, security or technology services; call centers; radio or TV broadcasting studio; and recording studio.

## F. Parking Use Category

Uses that provide parking as a principal use. Parking is consolidated into the following specific uses:

### 1. Commercial Surface Parking

A use that provides vehicle storage or parking on a surface lot, paved or unpaved, as a principal use.

### 2. Commercial Structured Parking

A use that provides vehicle storage and parking in a building or structure as a principal use.

### 3. Remote Parking

A use that provides vehicle storage and parking as a principal use that serves as off-site parking for another nearby use.

## G. Personal Service Use Category

Uses involved in providing personal care or repair services. Personal service is consolidated into the following specific uses:

### 1. General Personal Service

Personal service uses that provide a variety of personal care or repair services. Typical examples include barbershop, salon or spa; copy, printing or shipping service; indoor animal care; funeral home or mortuary without cremation service; laundromat, laundry drop-off facility or dry-cleaning that does not involve hazardous chemicals; massage therapist or acupuncturist; pawnshops; tailor, shoe repair or upholsterer; and tattoo or body piercing.

### 2. Animal Care, Outdoor

A use that provides overnight boarding of animals, or for the treatment of sick or injured animals by a person licensed in veterinary medicine or similar field, that includes outdoor facilities.

### 3. Gym or Studio

A use that provides for exercise and physical fitness activities. May include exercise equipment and space for dance, martial arts, pilates, yoga or other fitness classes.

## H. Retail Use Category

Uses involved in the sale, lease or rent of new or used products. Retail is consolidated into the following specific uses:

### 1. General Retail

Retail uses that sell, lease or rent a variety of new or used products. Typical examples include, appliance store; bicycle sales, rental or repair; book store; clothing or shoe store; craft or fabric store; electronics store; department store; drug store or pharmacy; florists; home goods or furniture store; hardware or home improvement store; optical center; pet store; sporting goods store; toy store; automobile parts or equipment store; bank, financial institution or ATM; convenience store; photography, art studio or gallery; farmers market; grocery store; landscape or plant nursery; and jewelry store.

### 2. Artisan Workshop

A use that provides a work space for artists or artisans that may include the production of hand-crafted products. Typical examples include art studio; ceramic manufacturing; glass blowing; jewelry manufacturing; metalwork; musical instrument manufacturing; leatherwork; and woodworking, cabinet makers or furniture manufacturing.

### 3. Farmer's Market

A use that provides for a periodic outdoor market at which the majority of vendors are farmers selling agricultural or horticultural produce or merchandise produced on their farms.

#### 4. Greenhouse or Nursery

A use engaged in the retail sale of plants and horticultural and gardening supplies materials.

### I. Transportation Use Category

Uses that facilitate the boarding, loading, arrival or departure of passengers for a variety of mobility and transportation options including trains, buses, cars and helicopters. Transportation is consolidated into the following specific uses:

#### 1. Passenger Terminal

A use for the pickup, drop off and interchange of passengers. Typical examples include bus terminals, multi-modal facility, rail stations, and passenger related mass transit facilities.

#### 2. Helipad

A use for the landing and take-off of a helicopter.

### J. Vehicle Sale and Service Use Category

Uses that sell, rent, lease, service or repair motorcycles, scooters, passenger vehicles, commercial vehicles, recreational vehicles, and heavy equipment. Vehicle sales and service is consolidated into the following specific uses:

#### 1. Vehicle Repair or Service

A use for servicing and repairing vehicles. Typical examples include automobile servicing or repair, tire sales, installation or recapping, and automobile washing or detailing.

#### 2. Vehicle Sale or Rental

A use that sells, rents or leases vehicles. Typical examples include the rental or sales of automobiles, heavy equipment, recreational vehicles, trailers and trucks.

#### 3. Fueling Station

A use that sells and dispenses vehicle fuel, including diesel, gasoline, hydrogen, electricity, and other alternative fuels.

## 3.2.5. Industrial Uses

### A. Industrial and Manufacturing

Uses involved in the manufacturing, processing, fabrication, packaging, or assembly of goods. Products may be finished or semi-finished and are generally made for the wholesale market, for transfer to other plants, or to order for firms or consumers. Goods are generally not displayed or sold on-site, but if so, they are a subordinate part of sales. Relatively few customers come to the site. Industrial and manufacturing is consolidated into the following specific uses:

#### 1. Bakery, Wholesale

A use that provides for the preparation of baked goods for wholesale or institutional distribution.

## 2. Low-Impact Industrial and Manufacturing

- a. Industrial and manufacturing uses where some or all of the following characteristics are present or anticipated:
  - i. Majority of manufacturing or industrial activity takes place indoors.
  - ii. No significant heat, noise, sounds, vibrations, odors or particulates detected by neighboring properties.
  - iii. No significant use of dangerous or harmful chemicals.
  - iv. No significant use of highly combustible or flammable materials, liquids, or gases.
  - v. No use of hazardous or explosive materials.
- b. Typical examples include manufacturing, processing, fabrication, packaging or assembly of prefabricated parts, consumer electronics, computers, appliances, optical devices or instruments, medical or surgical instruments, food and beverage products, cosmetics, clothing or shoes, printed or photographic materials, signs, small automotive parts; welding or machine shops; exterminators; and brewery, winery or distillery.

## 3. High-Impact Industrial and Manufacturing

- a. Industrial uses where some or all of the following characteristics are present or anticipated:
  - i. Majority of manufacturing or industrial activity takes place outdoors.
  - ii. Significant heat, noise, sounds, vibrations, odors or particulates may be detectable by neighboring properties.
  - iii. Significant use of dangerous or harmful chemicals.
  - iv. Significant use of highly combustible or flammable materials, liquids, or gases.
  - v. Use of hazardous or explosive materials.
- b. Typical examples include lumber mill or wood product manufacturing; production of rubber, leather, clay, bone, paper, pulp, plastic, stone, or glass materials or products; concrete batching or asphalt mixing; production or fabrication of metals or metal products including enameling and galvanizing; manufacturing and assembly of machinery, equipment, instruments, vehicles, appliances or electronics; dipping or refinishing of furniture; fuel oil distributor; and solid fuel yard.

## 4. Research and Development

A use focused primarily on the research and development of new products or for scientific research intended for manufacture, production or sale of products elsewhere. Typical examples include plastics, genetics, biotechnology, pharmaceuticals, and polymers.

## B. Warehouse and Distribution

Uses involved in the storage or movement of goods for themselves or other entities. Goods are generally delivered to other firms or the final consumer. There is little or no on-site sales activity with customers present. Warehouse and distribution is consolidated into the following specific uses:

## 1. General Warehouse and Distribution

Warehouse and distribution uses characterized by primarily indoor movement and activity. Typical uses include fulfillment center, distribution center, frozen food lockers, household moving storage, general freight storage, and warehouse.

## 2. Data Center

A use primarily for the storage, management, processing, and transmission of digital data, housing computer and network equipment, systems, servers, appliances and other associated components related to digital data operations. May also include air handlers, power generators, water cooling and storage facilities, utility substations, and other associated utility infrastructure to support sustained operations at the data center.

## 3. Distribution Storage Yard

A use involved in the storage, distribution or processing of goods and materials characterized by significant outdoor movement and activity. May also include the outdoor storage of equipment used for the distribution of goods and materials such as trucks, trailers, trains, cars, boats, carriages, and shipping containers. Typical uses include construction storage yard, landscape service company, lumberyard, and wholesale greenhouse or nursery.

## 4. Recycling Drop-off Center

A use that provides a facility or area where waste or used and secondhand materials are bought, sold, exchanged, stored, processed or handled. Typical materials include scrap iron, paper, rags, rubber tires, bottles, discarded goods, and machinery.

## 5. Self-Service Storage

A use that offers secure self-storage for household goods in individual rooms, compartments, lockers, or containers, where clients bring goods for storage and retrieve them at any time during normal business hours.

## 6. Vehicle Storage Yard

A use that provides storage for operable vehicles without occupants for more than 24 hours. Typical examples include towing service; taxicab, bus charter or limousine storage lot; school bus lot; recreational vehicle, trailer and boat storage; and impound lot.

## DIV. 3.3. USE STANDARDS

### 3.3.1. Applicability

The following use standards apply only where the Use Table in Sec. XX includes an asterisk (\*) for the use permission in the applicable zoning district. Where no asterisk is present in the Use Table, these use standards do not apply. These use standards cannot be waived by a Special Use Permit.

### 3.3.2. Residential Uses

#### A. Household Living

##### 1. Manufactured Home Park

- a. All spaces within a manufactured home park must be and remain under single ownership.
- b. The following requirements apply in lieu of underlying zoning district standards:
  - i. The minimum number of spaces in a manufactured home park is 10.
  - ii. The maximum density is 12 spaces per acre.
  - iii. The minimum area for each space is 3,000 square feet.
  - iv. The minimum distance from street or interior lot line of contiguous lot is 25 feet.
  - v. The minimum distance between manufactured homes, and between a manufactured home and any other building or structure is 15 feet.
  - vi. The maximum height of the manufactured home is 18 feet.
  - vii. The minimum manufactured home space dimension is 30 feet.
- c. Transitions and Screening
  - i. A Transition Type X must be provided (See Sec. XX) along all common lot lines.
  - ii. A Frontage Screen X must be provided (See Sec. XX) along all street lot lines.

### 3.3.3. Public and Institutional Uses

#### A. Communication Facilities

[Will include or reference Article IX, Division 5, Telecommunication Facilities in this section.]

### 3.3.4. Commercial Uses

#### A. General

In a RX- District, commercial uses must not exceed 25% of the ground floor area on a zoning lot.

## B. Parking

### 1. General

When abutting a common lot line of any R- or RX- District, a Transition Type X is required.

### 2. Remote Parking

- a. Remote parking must be located within 600 ft walking distance of the principal use served.
- b. Walking distance is measured horizontally along the most direct route of travel on the ground in the following manner:
  - i. Starting at the nearest edge of a primary or secondary street lot line of the remote parking lot;
  - ii. Along a public sidewalk, walkway, street, or road; and
  - iii. In a straight line ending at the nearest pedestrian access point to the destination use.

## 3.3.5. Industrial Uses

### A. Warehouse and Distribution

#### 1. Data Center

- a. A data center must not exceed 50% of the floor area on a zoning lot; and
- b. The data center must not be located within 30 feet of the primary street or side street building facade.

#### 2. Distribution Storage Yard

- a. Outdoor storage of refuse, waste, junk, inoperable motor vehicles and inoperable motorized equipment is prohibited.
- b. The area of the zoning lot covered by any building, structure, and outdoor storage area must not exceed 75% of the total lot area.
- c. When abutting a common lot line of any R- or RX- District, a Transition Type X is required

## DIV. 3.4. ACCESSORY USES AND STRUCTURES

### 3.4.1. General

#### A. Allowed Accessory Uses and Structures

The permitted use table in [Sec. XX](#) establishes the allowed accessory uses and structures by district. Multiple accessory uses are allowed on a zoning lot when the uses are all allowed in the district and the standards for all uses on the zoning lot can be met.

#### B. Accessory Uses and Structures Not Listed

1. An accessory use or structure not specifically listed in [Sec. XX](#) is not allowed unless the Zoning Administrator determines the use:
  - a. Is clearly incidental to and customarily found in connection with an allowed principal use;
  - b. Is subordinate to and serving an allowed principal use;
  - c. Is subordinate in area, extent and purpose to the principal use served; and
  - d. Is located on the same zoning lot as the principal use served.
2. Electronic gaming cafes are prohibited as an accessory use.

#### C. Rules for All Accessory Uses and Structures

1. A permit is required for any accessory use or structure exceeding 256 square feet of gross floor area.
2. Accessory structures must comply with the dimensional requirements of the zoning district, unless listed as an allowed encroachment in [Sec. XX](#).
3. No accessory use or structure is permitted on the zoning lot until after the principal use or structure is approved.

### 3.4.2. Specific Standards

#### A. Alcohol Sales for On-premise Consumption

Allows for the sale of beer, wine or liquor for on-premise consumption on the property of a permitted commercial use.

#### B. Drive-through

Allows for service provided directly to automobiles where the customer drives up to a window or mechanical device through or by which the customer is serviced without exiting the vehicle on the same zoning lot as a permitted commercial use.

1. Must meet the stacking requirements of [Sec. X.X](#).

### C. Family Day Home

A child care program serving 1 to 12 children under the age of 13, exclusive of the provider's own children and any children who reside in the home, where such program is offered in the residence of the provider or the residence of any of the children in care.

### D. Home Occupation

1. A home occupation is permitted only where the character of such use is such that it is clearly subordinate and incidental to the principal residential use of a dwelling.
2. In addition to the resident of the dwelling, not more than 1 other individual may be engaged in the activities of the home occupation business on the property at any given time.
3. More than 3 customers or clients of a home occupation business cannot be present on the premises at the same time.
4. Customers, clients or employees are not allowed to visit the property on which a home occupation business is conducted earlier than 8:00 a.m. or later than 9:00 p.m.
5. Deliveries of supplies associated with the home occupation business must occur only between the hours of 8:00 a.m. and 9:00 p.m.
6. Mechanical or electrical equipment cannot be employed within or on the property, other than machinery or equipment customarily found in a home.
7. No outside display of goods, and no outside storage of any equipment or materials used in the home occupation business is permitted.
8. There cannot be audible noise, or any detectable vibration or odor from activities or equipment of the home occupation beyond the confines of the dwelling, or an accessory building, including transmittal through vertical or horizontal party walls.
9. The storage of hazardous waste or materials not otherwise and customarily associated with residential occupancy of a dwelling is prohibited.
10. There cannot be sales of any goods, other than goods that are accessory to a service delivered on-premises to a customer or client of the home occupation business.
11. A home occupation business must be conducted entirely within the dwelling, an accessory building or structure, or both.
12. For pet grooming services, all animals must be kept inside during the provision of services and no animals may be boarded or kept overnight.
13. All parking in connection with the home occupation business (including, without limitation, parking of vehicles marked with advertising or signage for the home business) must be in driveway and garage areas on the property, or in available on-street parking areas.
14. One exterior sign is allowed provided that the sign meets the following standards:
  - a. The sign cannot exceed 2 square feet in area.

- b. The sign cannot be illuminated.
  - c. The sign must the requirements of *Sec. XX, Signs*.
15. Except for a sign authorized by subparagraph 13 above, there must not be evidence or indication visible from the exterior of the dwelling that the dwelling or any accessory building is being utilized in whole or in part for any purpose other than residential occupancy.
16. Applicants for a accessory use permit authorizing a home occupation must provide evidence of a city business license (or a statement from the commissioner of revenue that no city business license is required), proof of payment of taxes required by City Code, Chapter 30, if any, and a certificate of occupancy or other written indication from the city's building code official that use of the dwelling or accessory building for the home occupation business is in compliance with all applicable building code regulations.
17. The following are specifically prohibited, and cannot be deemed or construed as activities constituting a home occupation:
- a. Auto detailing, where more than 2 vehicles being serviced are present on the property at any given time.
  - b. Barber shops or beauty salons having more than 2 chairs.
  - c. Funeral home with or without chapel.
  - d. Medical or dental clinic (other than psychiatric or psychological counseling services).
  - e. Motor vehicle sales, repair, equipment installation, and similar activities.
  - f. Nursing homes and adult care facilities.
  - g. Repair or testing of machinery, including internal combustion engines.
  - h. Restaurants.
  - i. Retail or wholesale sales, where any goods or merchandise are picked-up by purchasers on-site, including, without limitation: antique shops, sales of firearms, computer sales, and similar activities.
  - j. Schools, nursery schools, and day care facilities.
  - k. Veterinary clinics and animal kennels.

## E. Homestay

1. Allows for an individual who owns a dwelling and uses it as their permanent residence to hire out, as lodging:
  - a. Such dwelling, or any portion thereof, or
  - b. A lawful accessory dwelling.
2. Homestays must comply with the standards of *Sec. XX, Home Occupation*, subsections 1, 2, 4 through 12, 14, and 15.
3. No more than 6 adult overnight guests are allowed, per zoning lot, per day.

4. Homestays may not have any exterior signage.
5. An individual who applies for a accessory use permit to authorize the operation of a homestay must present proof of:
  - a. Such individual's ownership of, and permanent residence at, the property that is the subject of the application. Acceptable proof of permanent residence includes: applicant's driver's license, voter registration card or U.S. passport, showing the address of the property, or other document(s) which the Zoning Administrator determines provide equivalent proof of permanent residence by the applicant at the property that is the subject of the application.
  - b. Contact information for a responsible party. If the owner is not the responsible party who will be available during the time of service, then the responsible party must be identified and must sign the application form.
6. Food cannot be prepared for or served to guests of the homestay by the owner or the owner's agent(s) or contractor(s).
7. Every homestay must have working smoke detectors, carbon monoxide detectors and fire extinguishers, and all such equipment must be accessible to overnight guests of the homestay at all times. Every homestay must comply with requirements of the applicable version of the Virginia Uniform Building Code, as determined by the City's Building Code Official.
8. By their application for a accessory use permit for a homestay, an applicant authorizes city inspectors to enter the subject property, upon reasonable advance written notice to the applicant, at least 1 time during the calendar year for which the permit is valid, to verify that the homestay is being operated in accordance with the regulations set forth within this section.
9. Each accessory use permit for a homestay will be valid from January 1 (or such other date during a calendar year on which such permit is issued) through December 31 of the calendar year in which the permit is issued. During this period of validity, the owner of the homestay must occupy the dwelling as their residence for more than 180 days.
10. A accessory use permit for a homestay may be revoked by the Zoning Administrator:
  - a. In the event that 3 or more substantiated complaints are received by the city within a calendar year, or;
  - b. For failure to maintain compliance with any of the regulations set forth within this section. A property owner whose accessory use permit has been revoked pursuant to this paragraph is not eligible to receive any new accessory use permit for a homestay, for the remaining portion of the calendar year in which the permit is revoked, and for the entire succeeding calendar year.

## F. Outdoor Dining

Allows for an accessory outdoor dining on the property of a permitted principal commercial use. Outdoor dining is an unenclosed area with tables, chairs, and other furnishings set up for the purpose of drinking or eating food and beverages.

1. Outdoor dining cannot encroach upon any public street, public sidewalk or parking areas.

- Outdoor dining cannot impair the ability of pedestrians or cyclist to use the sidewalk. There must be a minimum of 6 feet of clear distance of sidewalk at all times.

**G. Outdoor Display**

Allows for an accessory outdoor display of products actively available for sale on the property of a permitted principal commercial use.

- Outdoor display is only allowed with a permitted ground floor nonresidential use.
- Outdoor display must be located within 20 feet from the facade and cannot exceed 6 feet in height.
- Outdoor display must be removed and placed inside a fully-enclosed building at the end of each business day.
- Outdoor display cannot encroach upon any public street or sidewalk. Outdoor display cannot impair the ability of pedestrians or cyclists to use the sidewalk. There must be a minimum of 6 feet of clear distance of sidewalk at all times.

**H. Outdoor Entertainment**

Allows for an accessory outdoor entertainment stage on the property of a permitted principal commercial use. An outdoor entertainment stage is a raised unenclosed platform that accommodates musical or theatrical shows or performances.

- Outdoor entertainment stages must be a minimum of 150 feet from a R- District.
- Outdoor entertainment stages cannot encroach upon any public street or sidewalk. Outdoor display cannot impair the ability of pedestrians or cyclists to use the sidewalk. There must be a minimum of 6 feet of clear distance of sidewalk at all times.

**I. Outdoor Storage**

Allows for accessory outdoor storage of merchandise, goods, inventory, materials or equipment or other items which are not intended for immediate sale on the property of a permitted principal public and institutional, commercial, or industrial use.

- Must be located to the side or rear of the primary building.
- In a CX-, NX- or DX District, outdoor storage is limited to merchandise or material in boxes, in crates, on pallets or other kinds of shipping containers.
- When abutting a common lot line of a R- or RX- District, a Fence Type X is required.
- The amount of space dedicated to outdoor storage on a zoning lot cannot exceed the following:

ZONING DISTRICT	MAX % OF LOT AREA USED FOR OUTDOOR STORAGE
CX-, NX-, DX	10%
CM, CV	20%
IX-	45%

## DIV. 3.5. TEMPORARY USES AND STRUCTURES

### 3.5.1. General Standards

- A. In addition to the standards set forth within *this division* for specific temporary uses, all uses authorized by a temporary use permit must satisfy the following requirements:
1. As part of the application for a temporary use permit, an applicant must provide a written plan containing, at a minimum, the following information:
    - a. Site diagram showing the boundaries of the subject site; the tax map and parcel numbers for the subject site and adjacent property owners; the name of the owner of the subject property, and the name(s) of all adjacent property owners; the zoning district classifications of the subject site and each adjacent property; and a layout of the structures, parking and other pertinent features of the proposed temporary use.
    - b. Written permission of the owner of the subject property (if different than the applicant) authorizing the applicant to use the subject property for the temporary use.
    - c. Proof that the applicant and/or owner of the subject property have obtained, or will obtain, all licenses, permits and other governmental approvals required by any federal, state or local laws or regulations, required for or in connection with the proposed temporary use.
    - d. Other information deemed necessary by the Zoning Administrator in order to evaluate the application.
- B. A temporary use must be a permitted use within the zoning district where it will be located.

### 3.5.2. Specific Standards

#### A. Temporary Outdoor Assemblies

Temporary outdoor assemblies must meet the following conditions:

1. Must take place only between the hours of 9:00 a.m. and 9:00 p.m. on a given day.
2. Must provide parking for persons expected to attend the event, no fewer than 1 space per 4 persons of the capacity of the site, as determined by the Zoning Administrator.
3. Must meet all applicable requirements of the state building and fire prevention codes.

#### B. Temporary Outdoor Sales

Temporary outdoor sales must meet the following conditions:

1. Cannot be located or conducted in a manner that will reduce or eliminate the availability of any required off-street parking spaces for the subject property.
2. Cannot be located within any yard subject to a landscaping, transition, or screening requirement.

3. Must, with respect to any lighting utilized, comply with applicable provisions of *Sec. XX, Lighting*.
4. Must meet all applicable requirements of the state building and fire prevention codes.

### C. Amusement Enterprises (Circuses, Carnivals, etc.)

Temporary amusement enterprises must meet the following conditions:

1. Must provide parking sufficient to accommodate the number of persons expected to attend the event, as determined by the Zoning Administrator based on other, similar events.
2. Must, in all aspects (including, without limitation, the erection of tents and rides) be conducted in accordance with applicable requirements of the state building and fire prevention codes.
3. Must not be approved to take place at any site within 300 feet of a low-density residential zoning district.
4. Must, with respect to any lighting utilized, comply with applicable provisions of *Sec. XX, Lighting*.

### D. Mobile Food Unit

A mobile food unit located on private property authorized by a temporary use permit is subject to the following regulations:

1. No mobile food unit may be operated on private property without the mobile food unit owner or their designee having first been issued a temporary use permit pursuant to this section.
2. A temporary use permit allows the permittee to operate at up to 10 different properties. An applicant may apply for more than 1 temporary use permit.
3. Applicants for a temporary use permit authorizing a mobile food unit to operate on private property must provide:
  - a. A city business license (or a statement from the commissioner of revenue that no city business license is required).
  - b. A valid health permit from the Virginia Health Department stating that the mobile food unit meets all applicable standards. A valid health permit must be maintained for the duration of the provisional use permit.
  - c. Written permission from the owner(s) of the private properties upon which the permittee will operate.
  - d. A site diagram to be approved by the zoning administrator for each property, illustrating access to the site, all parking areas, routes for ingress and egress, placement of the mobile food unit, distance from property lines, garbage receptacles and any other feature associated with the mobile food unit.
4. A mobile food unit provisional use permit is valid for 1 year from the date of issuance.
5. A mobile food unit operator cannot:
  - a. Sell anything other than food and non-alcoholic beverages and items incidental to the product and its consumption;
  - b. Set up more than 1 covered 10 × 10 table to provide condiments to patrons;

- c. Play any music that is audible outside of the vehicle;
  - d. Place or utilize any signage that is not permanently affixed to the mobile food unit;
  - e. Fail to provide receptacles and properly dispose of all trash, refuse, compost and garbage that is generated by the use;
  - f. Cause any liquid wastes to be discharged from the mobile food unit;
  - g. Locate a mobile food unit within 100 feet of a single family or two-family residential use.
6. A temporary use permit may be revoked by the zoning administrator at any time, due to the failure of the permit holder to comply with all requirements of this chapter. Notice of revocation must be made in writing to the permit holder. Any person aggrieved by such notice may appeal the revocation to the board of zoning appeals.

## E. Temporary Family Health Care Structures

1. Temporary family health care structures must be a permitted accessory use in residential zoning districts on lots zoned for single-family detached dwellings if such structure:
  - a. Is used by a caregiver in providing care for a mentally or physically impaired person, and;
  - b. Is on property owned or occupied by the caregiver as their residence.
2. For purposes of this section, “caregiver” and “mentally or physically impaired person” have the same meaning as defined in Code of Virginia, § 15.2-2292.1.
3. In addition to the specific requirements of a temporary family health care structure found in Virginia Code, § 15.2-2292, a temporary use permit for a temporary family health care structure must meet the following minimum conditions:
  - a. Only 1 such structure is allowed on a zoning lot or parcel of land.
  - b. The applicant must provide evidence of compliance with this section to the city 1 year from the date of installation, and every year thereafter, as long as such structure remains on the property. Such evidence will involve inspection by the City of such structure at reasonable times.
  - c. The applicant must comply with all applicable requirements of the Virginia Department of Health.
  - d. No signage advertising or otherwise promoting the existence of the structure is permitted anywhere on the property.
  - e. Such structure must be removed within 30 days of the time from which the mentally or physically impaired person is no longer receiving, or is no longer in need of, the assistance provided for in this section.
  - f. The Zoning Administrator may revoke any permit granted hereunder if the permit holder violates any provision of this section, in addition to any other remedies that the city may seek against the permit holder, including injunctive relief or other appropriate legal proceedings to ensure compliance.

## F. Temporary Construction Yard

### 1. Temporary Permit; Renewal

A temporary permit may be issued in all zoning districts by the Zoning Administrator for yards located outside the public street which support a temporary construction project (including projects for the maintenance or repair of streets or structures). Such permit are valid for a period not exceeding 18 months, provided that the standards set out below are followed. A permit may be renewed for additional twelve-month periods, provided that there is continued compliance with the standards set out below. The project operator must show demonstrable progress in order for a permit to be renewed. Inactive sites are not permitted to remain.

### 2. Site Diagram Details

In addition to the requirements set forth in *Sec. XX, Temporary Uses and Structures, General Standards*, a site diagram for a temporary construction yard must identify the general location and extent of the activities and structures of the yard, including vehicle storage areas, contractor's office, watchman's trailer, construction equipment sheds, etc. The diagram must also show or describe a restoration plan for the site, setting out how the site will appear 60 days after the expiration or termination of the temporary use permit.

### 3. Site Requirements

- a. A temporary construction yard must provide erosion and sediment control, and stormwater management, in accordance with federal, state and local stormwater regulations and requirements. The addition of a temporary construction yard may require amendments to an existing environmental permit.
- b. When determined to be necessary, temporary construction yards must be screened from the adjacent right(s)-of-way and adjacent properties. **[Insert screening type from Development Standards, Module 2]** With the approval of the Zoning Administrator, an opaque wall or fence may be utilized for, or as part of, a required screen. Where allowed, such wall or fence (including any gate(s) forming a portion of such structure) must be at least 6 feet tall, or an alternate height deemed necessary by the Zoning Administrator to protect required sight distances along a public street.
- c. All lighting associated with the site must meet the requirements of *Sec. XX, Lighting* and must be screened from view from any rights-of-way or R- zoning district.

### 4. Maintenance Requirement

- a. All areas of such yard, as well as its access roads, must be treated and maintained in such manner as to prevent dust or debris from blowing or spreading onto adjoining properties or onto any public street. Such yards must be maintained in a clean and orderly condition. Material and construction residue and debris is not permitted to accumulate. Grass and weeds must be maintained at a height not exceeding 6 inches.
- b. In the event that the permit holder fails to maintain the site and fails to remedy all deficiencies within 30 days after written notice of violation of these maintenance requirements has been issued by the Zoning Administrator, the Zoning Administrator may declare the permit void and require restoration of the site as provided for below.

## 5. Termination of Use; Restoration

The yard must be closed and all buildings, structures, materials, supplies and debris associated with the yard's activities completely removed and the area properly seeded or otherwise restored with appropriate vegetation within 60 days from the date that the permit issued by the Zoning Administrator has expired or has been revoked by the Zoning Administrator.

## G. Temporary Surface Parking Lot

### 1. Temporary Permit; Renewal

A temporary permit may be issued by the Zoning Administrator for lots located outside the public street which support a temporary construction project (including projects for the maintenance or repair of streets or structures). Such permit is valid for a period not exceeding 18 months, provided that the standards set out below are followed. A permit may be renewed for additional 12-month periods, provided that there is continued compliance with the standards set out below. The project operator must show demonstrable progress in order for a permit to be renewed. Inactive sites are not permitted to remain.

### 2. Site Diagram Details

In addition to the requirements set forth in *Sec. XX, Temporary Uses and Structures, General Standards*, a site diagram for a temporary surface parking lot must identify the size and location of parking spaces, any associated structures, traffic circulation, signage, etc. The diagram must also show or describe a restoration plan for the site, setting out how the site will appear 60 days after the expiration or termination of the temporary use permit.

### 3. Site Requirements

- a. Addition of a temporary surface parking lot cannot create any zoning violations for the site, or any uses of the lot. (For example, establishment of a temporary surface parking lot may not reduce required open space, or result in a reduction of required parking spaces, for that lot, or for within a development that includes the lot.)
- b. When there is an established use on site, defined physical separation must be provided between the established use and the temporary surface parking lot.
- c. Ingress and egress to the temporary surface parking lot, and the layout of the surface parking lot, must meet all applicable requirements of the state building and fire prevention codes.
- d. The temporary surface parking lot must provide erosion and sediment control, and stormwater management, in accordance with federal, state and local stormwater regulations and requirements. The addition of a temporary surface parking lot may require amendments to an existing environmental permit.
- e. Parking surface must comply with requirements in *section 34-982* this Ordinance and any additional requirements within the Standards and Design Manual.

- f. Temporary surface parking lots must be screened from the adjacent right(s)-of-way and adjacent properties when determined appropriate. [Insert screening type from Development Standards, Module 2] With the approval of the Zoning Administrator, an opaque wall or fence may be utilized for, or as part of, a required screen. Where allowed, such wall or fence (including any gate(s) forming a portion of such structure) must be at least 6 feet tall, or an alternate height deemed necessary by the Zoning Administrator to protect required sight distances along a public street.
- g. All temporary surface parking lots must comply with current ADA guidelines and regulations.
- h. Bicycle storage must be provided based on standards within the City of Charlottesville Zoning Ordinance and within the City of Charlottesville Standards and Design Manual.

#### 4. Signage

Signage indicating the temporary nature of the use is required. All signage must comply with the sign regulations within *Sec. XX, Signs* of this Code. Signage must include the following:

- a. Duration of use with proposed termination date.
- b. Contact information (telephone or email address) of permit holder.

#### 5. Lighting

Any lighting used for the temporary surface parking lot must comply with applicable provisions of *Sec. XX, Lighting*.

#### 6. Maintenance Requirement

- a. All areas of such parking facility, as well as its access roads, must be treated and maintained in such manner as to prevent dust or debris from blowing or spreading onto adjoining properties or onto any public street. Such parking facilities must be maintained in a clean and orderly condition. Material and construction residue and debris is not permitted to accumulate. Grass and weeds must be maintained at a height not exceeding 6 inches.
- b. In the event that the permit holder fails to so maintain the site and fails to remedy all deficiencies within 30 days after written notice of violation of these maintenance requirements has been issued by the Zoning Administrator, the Zoning Administrator may declare the permit void and require restoration of the site as provided for below.

#### 7. Termination of Use; Restoration

The temporary parking facility must be closed and all buildings, structures, materials, supplies and debris associated with the facility's activities completely removed and the area properly seeded or otherwise restored with appropriate vegetation within 60 days from the date that the permit issued by the Zoning Administrator has expired or has been revoked by the Zoning Administrator.